

SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
 Phone (317) 776-8495
 Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

November 5, 2014

To: Hamilton County Drainage Board

Re: Vermillion Drain, The Village at Flat Fork, Sec. 1 Arm

Attached is a petition filed by North Connecticut Development Corp., along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Vermillion Drain, The Village at Flat Fork, Sec. 1 Arm to be located in Fall Creek Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

12" RCP	442 ft.	24" RCP	1,052 ft.
15" RCP	265 ft.	6" SSD	2,949 ft.
18" RCP	764 ft.	Open (ponds)	695 ft.
21" RCP	421 ft.	Open Ditch	225 ft.

The total length of the drain will be 6,813 feet.

The portion of drain listed as open ditch above is that portion within Common Area "B" on the secondary plat and C.A. (Park) on the development plan. This length is from Structure 219 and runs northerly to the north line of the common area.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines as described below which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain. The portion of the SSD which will be regulated and maintained other than those under curbs are as follows:

SSD under the curbs and rear yard lots 19 – 22. (Note: This SSD line was previously referenced in the report for The Ridge at Flat Fork, Sec. 1 for lots 142, 143, 144 and is called out on the plans as existing. These lots are adjoining and share a rear swale with SSD. The length for this drain was included in the previous report and is not included in this report).

The detention ponds (Dry Pond #3 located in Common Area A, Dry Pond #2 and Wet Pond #1 located in future section common area) are to be considered part of the regulated drain. The maintenance of the ponds assumed by the Drainage Board shall include the inlet and outlet as part of the regulated drain. The maintenance of the ponds such as sediment removal, and erosion control along the banks, mowing and aquatic vegetation control will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained, thereby, allowing no fill or easement encroachments.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain for Section 1 will be \$1,886.00.

The petitioner has submitted surety for the proposed drain at this time. The sureties which are in the form of Letters of Credit from the developer are as follows:

Agent: Standard Financial Corporation
Date: September 3, 2014
Number: 1129NCD-VFF1
For: Storm Sewers
Amount: \$278,040.00

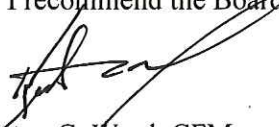
Agent: Standard Financial Corporation
Date: September 3, 2014
Number: 1130NCD-VFF1
For: Erosion Control
Amount: \$63,270.20

Agent: Standard Financial Corporation
Date: September 3, 2014
Number: 1131NCD-VFF1
For: Monumentation
Amount: \$3,918.00

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for The Village at Flat Fork, Sec. 1 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for January 26, 2015.



Kenton C. Ward, CFM
Hamilton County Surveyor
KCW/pll

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

FILED

AUG 20 2014

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

OFFICE OF HAMILTON COUNTY SURVEYOR

In the matter of The Village At Flat Fork Subdivision, Section
The Village At Flat Fork Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in The Village At Flat Fork - Section 1, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED

NORTH CONNECTICUT DEV. CORP.

Douglas B. Wagner
Signed

Signed

DOUGLAS B. WAGNER
Printed Name

Printed Name

July 28, 2014
Date

Date

Signed

Signed

Printed Name

Printed Name

Date

Date

FINDINGS AND ORDER

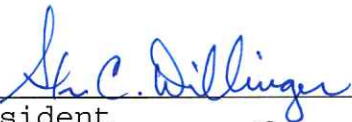
CONCERNING THE MAINTENANCE OF THE

Vermillion Drain, The Village at Flat Fork Section 1 Arm

On this 26th day of January, 2015, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Vermillion Drain, The Village at Flat Fork Section 1 Arm*.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD




President



Member



Member

Attest: 
Executive Secretary



August 27, 2014

Hamilton County Surveyor's Office
1 N 8th Street
Noblesville, IN 46060
Phone: (317) 776-8495

FILED
AUG 28 2014
OFFICE OF HAMILTON COUNTY SURVEYOR

Attention: Steve Cash

RE: The Village at Flat Fork Section One

Dear Mr. Cash:

On behalf of the developer, Republic Development, I wish to submit the following Engineer's Estimate for The Village at Flat Fork Section One. The estimate is as follows:

<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Contract Amount</u>	<u>Performance Bond 120%</u>
Storm Sewer				\$ 231,700.00	\$ 278,040.00
6" SSD Swales	760.00	LF	\$ 8.00	\$ 6,080.00	
6" SSD Curbs	2910.00	LF	\$ 7.60	\$ 22,116.00	
12" RCP	391.00	LF	\$ 27.55	\$ 10,772.05	
15" RCP	708.00	LF	\$ 27.20	\$ 19,257.60	
18" RCP	1015.00	LF	\$ 31.90	\$ 32,378.50	
24" RCP	877.00	LF	\$ 45.70	\$ 40,078.90	
Inlet Type A Neenah R3501-TR/TL	2.00	Each	\$ 1,235.00	\$ 2,470.00	
Curb Inlet Double Castings	2.00	Each	\$ 2,190.00	\$ 4,380.00	
MH w/Solid Lid (12" to 24" Pipe) 48"d	21.00	Each	\$ 2,090.00	\$ 43,890.00	
Inlet Type A w/ Beehive Inlet	3.00	Each	\$ 1,010.00	\$ 3,030.00	
MH w/Beehive Inlet (12" to 24" Pipe) 48"d	1.00	Each	\$ 1,710.00	\$ 1,710.00	
Curb Inlet, 48"d	3.00	Each	\$ 1,890.00	\$ 5,670.00	
MH w/Beehive Inlet SS Wier, 48"d	1.00		\$ 2,810.00	\$ 2,810.00	
Rip Rap Outlet Protection	8.00	Each	\$ 433.00	\$ 3,464.00	
12" Flared End Section w/ Debris Guard	4.00	Each	\$ 1,595.00	\$ 6,380.00	
15" Flared End Section w/ Debris Guard	1.00	Each	\$ 1,650.00	\$ 1,650.00	
18" Flared End Section w/ Debris Guard	1.00	Each	\$ 1,749.70	\$ 1,749.70	
24" Flared End Section w/ Debris Guard	2.00	Each	\$ 1,920.00	\$ 3,840.00	
No. 8 Stone Backfill	195.00	Ton	\$ 19.35	\$ 3,773.25	
Dry Pond 3 Infiltration Trench Modified Soil	600	CY	\$ 27.00	\$ 16,200.00	

The Village at Flat Fork Section One

W130129

August 27, 2014

Page 2 of 2

Erosion Control						\$ 52,725.00	\$	63,270.00
Silt Fence	9,000.00	LF	\$	1.30	\$	5,795.00		
Tree Protection Fence	3,400.00	LF	\$	2.35	\$	7,990.00		
Temporary Construction Entrance	1.00	Each	\$	2,000.00	\$	2,000.00		
Curb Inlet Mats	8.00	Each	\$	40.00	\$	320.00		
Beehive Inlet Protection	7.00	Each	\$	45.00	\$	270.00		
Temporary Seeding	24,000.00	SY	\$	0.30	\$	7,200.00		
Permanent Seeding	26,000.00	SY	\$	0.40	\$	10,400.00		
Erosion Control Blanket	12,500.00	SY	\$	1.30	\$	16,250.00		
Concrete Washout Area	1.00	Each	\$	2,500.00	\$	2,500.00		
Monumentation						\$ 3,265.00	\$	3,918.00
5/8" rebar w/ aluminum caps, street control	9.00	Each	\$	35.00	\$	315.00		
5/8" rebar w/ caps, lot property corners	80.00	Each	\$	35.00	\$	2,800.00		
4x4 concrete monuments, subdivision property corners	3.00	Each	\$	50.00	\$	150.00		

Should you have any questions or comments, please feel free to contact me at 317-846-6611.

Sincerely,



Colin Patterson
Professional Engineer

September 3, 2014

HCDB-2014-00045

Irrevocable Letter of Credit No.: 1131NCD-VFF1

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd., N., #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Three Thousand Nine Hundred Eighteen and no/100 Dollars (\$3,918.00)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of monumentation in The Village at Flat Fork, Section 1.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1131NCD-VFF1."

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600.

This Letter of Credit is effective as of September 3, 2014, and shall expire on September 3, 2015 but such expiration date shall be automatically extended for a period of one year on September 3, 2015, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners, or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the

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SEP 05 2014



current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Eric Roof', is written in a cursive style.

Eric Roof, Controller

ER/kh

This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

13578 E. 131st Street, Suite 200 • Fishers, Indiana 46037
Phone: 317-773-8353 • www.standardfincorp.com

September 3, 2014

HCDB-2014-00044

Irrevocable Letter of Credit No.: 1130NCD-VFF1

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd., N., #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Sixty-Three Thousand Two Hundred Seventy and no/100 Dollars (\$63,270.00)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of erosion control in The Village at Flat Fork, Section 1.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1130NCD-VFF1."

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600.

This Letter of Credit is effective as of September 3, 2014, and shall expire on September 3, 2015 but such expiration date shall be automatically extended for a period of one year on September 3, 2015, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners, or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the

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SEP 05 2014



current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

A handwritten signature in blue ink that reads 'Eric Roof'.

Eric Roof, Controller

ER/kh

This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

13578 E. 131st Street, Suite 200 • Fishers, Indiana 46037
Phone: 317-773-8353 • www.standardfincorp.com

September 3, 2014

HCD B-2014-00043

Irrevocable Letter of Credit No.: 1129NCD-VFF1

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd., N., #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Two Hundred Seventy-Eight Thousand Forty and no/100 Dollars (\$278,040.00)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of storm sewers in The Village at Flat Fork, Section 1.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1129NCD-VFF1."

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600.

This Letter of Credit is effective as of September 3, 2014, and shall expire on September 3, 2015 but such expiration date shall be automatically extended for a period of one year on September 3, 2015, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners, or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the

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SEP 05 2014

13578 E. 131st Street, Suite 200 • Fishers, Indiana 46037
Phone: 317-773-8353 • www.standardfincorp.com



current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

A handwritten signature in blue ink that reads 'Eric Roof'.

Eric Roof, Controller

ER/kh

This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

13578 E. 131st Street, Suite 200 • Fishers, Indiana 46037
Phone: 317-773-8353 • www.standardfincorp.com

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

Vermillion Drain, The Village at Flat Fork Section 1 Arm

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Vermillion Drain, The Village at Flat Fork Section 1 Arm** on **January 26, 2015** at **9:05 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

Vermillion Drain, The Village at Flat Fork Section 1 Arm

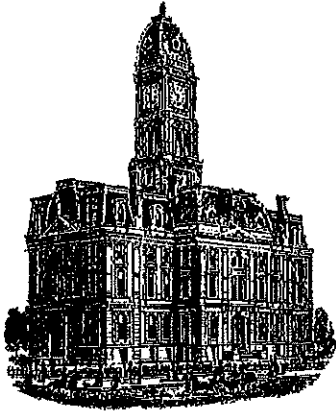
NOTICE

Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **January 26, 2015** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

October 24, 2016

Re: Vermillion Drain – The Village at Flat Fork Section 1

Attached are as-built, certificate of completion & compliance, and other information for The Village at Flat Fork Section 1. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated November 5, 2014. The report was approved by the Board at the hearing held January 26, 2015. (See Drainage Board Minutes Book 16, Pages 86-87) The changes are as follows: the 12" RCP was lengthened from 442 to 452 feet. The 18" RCP was lengthened from 764 feet to 765 feet. The 21" RCP was shortened from 421 feet to 418 feet. The 24" RCP was shortened from 1052 to 1039 feet. The 6" SSD was lengthened from 2,949 feet to 3,679 feet. The open ditch through the ponds was lengthened from 695 feet to 714 feet. The open ditch was lengthened from 225 feet to 230 feet. The length of the drain due to the changes described above is now **7,562 feet**. It should be noted that the 6" SSD footage was lengthened because the 6" SSD in the dry detentions was not picked up as regulated drain in the original report to the Board.

The non-enforcement was approved by the Board at its meeting on November 30, 2015 and recorded under instrument #2016013328.

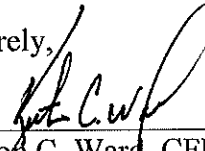
The following sureties were guaranteed by Standard Financial Corporation and released by the Board on its October 24, 2016 meeting.

Bond-LC No: 1129NCD-VFF1
Amount: \$278,040.00
For: Storm Sewers
Issue Date: September 3, 2014

Bond-LC No: 1130NCD-VFF1
Amount: \$63,270.20
For: Erosion Control
Issue Date: September 3, 2014

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kenton C. Ward', written over a horizontal line.

Kenton C. Ward, CFM
Hamilton County Surveyor

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: The Village at Flat Fork - Section 1

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

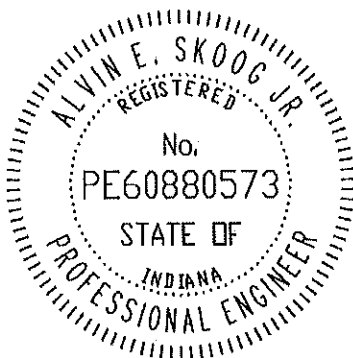
Signature: Al E. Skoog, Jr. Date: January 21, 2016

Type or Print Name: Alvin E. Skoog, Jr.

Business Address: Weihe Engineers, Inc. 10505 N. College Ave.

Indianapolis, Indiana 46280

Telephone Number: 317-846-6611



INDIANA REGISTRATION NUMBER

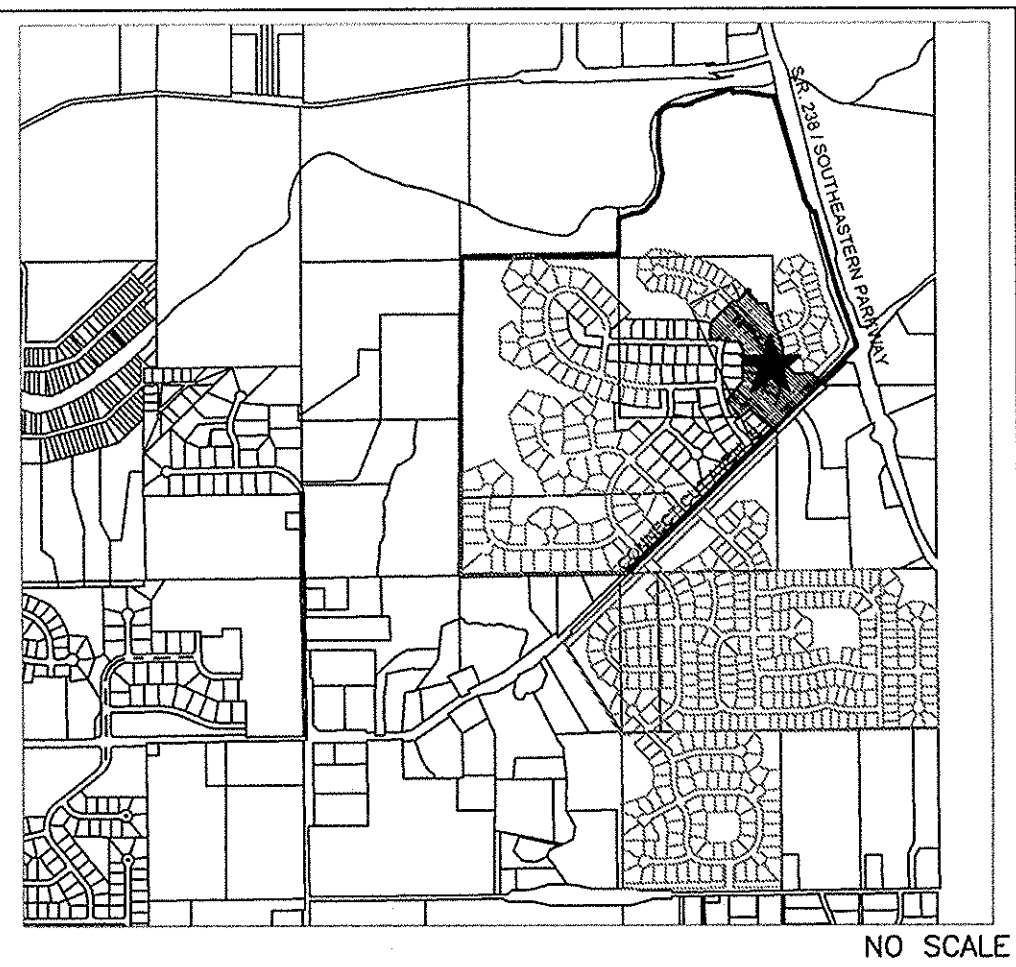
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RECORD DRAWING - CONSTRUCTION DRAWINGS

THE VILLAGE AT FLAT FORK

SECTION ONE

FORTVILLE, IN 46040



AREA LOCATION MAP
GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- ALL QUANTITIES GIVEN ON THESE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- IN ADDITION, EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THIS PROJECT.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE REPAIRED AND CONNECTED TO NEW STORM SEWERS AND POSITIVE DRAINAGE PRESERVED.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER THAT ALL LANDSCAPE REQUIREMENTS ARE MET AND CONFORM TO APPLICABLE LOCAL STANDARDS.
- THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18057C0260F AND 18057C0280F, FEBRUARY 19, 2003.
- BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS & PLAT FOR EXACT INFORMATION.
- THIS SITE DOES CONTAIN WETLANDS AS SHOWN ON THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE; FORTVILLE, INDIANA, NATIONAL WETLANDS INVENTORY MAP. NO WETLANDS ARE IMPACTED BY THIS DEVELOPMENT.
- DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED TO COMPLY WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.
- ALL WATER MAIN, HYDRANTS, AND WATER VALVES SHALL BE INSPECTED AND SHALL COMPLY WITH BACKFILL, BEDDING, AND THRUST BLOCK REQUIREMENTS PER INDIANA AMERICAN WATER COMPANY DETAIL SHEETS.
- THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS. SHALL BE PROWAG COMPLIANT AND MEET ALL CURRENT INDOT STANDARD SPECIFICATIONS.
- A ROAD CUT WILL NOT BE PERMITTED FOR ANY UTILITY AFTER A PROOF ROLL HAS BEEN COMPLETED. PRIOR TO A PROOF ROLL, ANY UTILITY PLACED WITHIN THE LIMITS OF THE ROADWAY SHALL BE BACKFILLED WITH GRANULAR MATERIAL AND COMPACTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

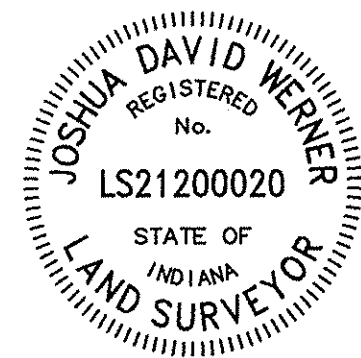
OPERATING AUTHORITIES:

- | | | |
|---|---|---|
| <p>Fishers Department of Community Development
One Municipal Drive
Fishers, IN 46038
317-595-3120
Attn: Adam Zaklikowski</p> | <p>Ninstar Connect (Power)
2243 East Main Street
Greenfield, IN 46140
317-323-2087
317-485-5230
Attn: John Splatter</p> | <p>Comcast
5330 E. 65th Street
Indianapolis, IN 46220
317-774-3384
Attn: Matt Stringer</p> |
| <p>A&F Engineering, INC.
8365 Keystone Crossing, Suite 201
Indianapolis, IN 46240
317-202-0864
Attn: Steve Fehrbach</p> | <p>Fortville Water
714 E. Broadway St.
Fortville, IN 46040
317-485-4044
Attn: Joe Renner</p> | <p>AT&T
5858 N. College Avenue
Indianapolis, IN 46220
317-252-4267
Attn: Brian Peters</p> |
| <p>SAMCO/ HSE Utilities
11501 Lakeside Drive
Fishers, IN 46038
317-577-1150
Attn: Thomas Kallio</p> | <p>Triad Associates
5835 Lawton Loop East Drive
Indianapolis, IN 46216
317-773-5230
Attn: Dick Mosler</p> | <p>Hamilton County Highway Department
1700 S. 10th Street
Noblesville, IN 46060
317-773-7770
Attn: David Lucas</p> |
| <p>Duke Energy
100 South Mill Creek Road
Noblesville, IN 46060
317-776-5352
Attn: Tracy Grady</p> | <p>Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, Indiana 46060
317-776-8495
Attn: Steve Cash</p> | <p>Embarq/ Century Link
50 North Jackson Street
Franklin, IN 46131
317-736-5807
Attn: Larry Donathen</p> |
| <p>Vectra
16000 Allisonville Road
Noblesville, IN 46061
317-776-5532
Attn: Joanie Clark</p> | <p>Ninstar Connect
P.O. Box 108
Maxwell, IN 46154
317-323-2078
Attn: George Pilsinski</p> | |

RECORD DRAWING

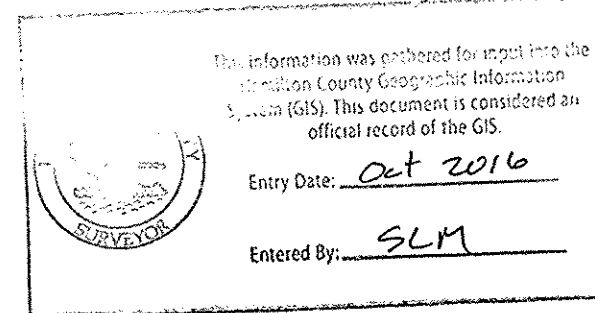
01/25/2016

JOSHUA DAVID WERNER, LS21200020



PLANS PREPARED FOR
NORTH CONNECTICUT DEVELOPMENT CORP.
13578 EAST 131ST STREET, SUITE 200
FISHERS, INDIANA 46037
(317)770-1818
CONTACT PERSON: DOUG WAGNER

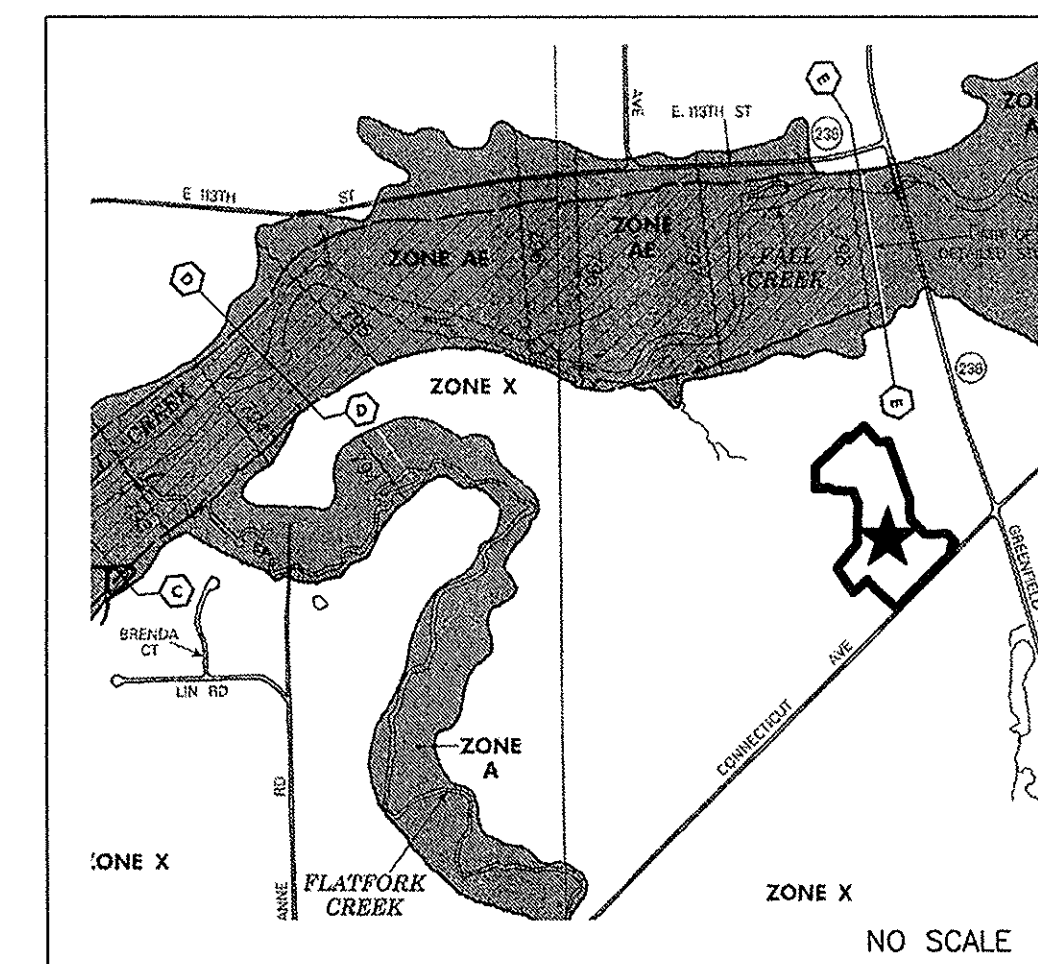
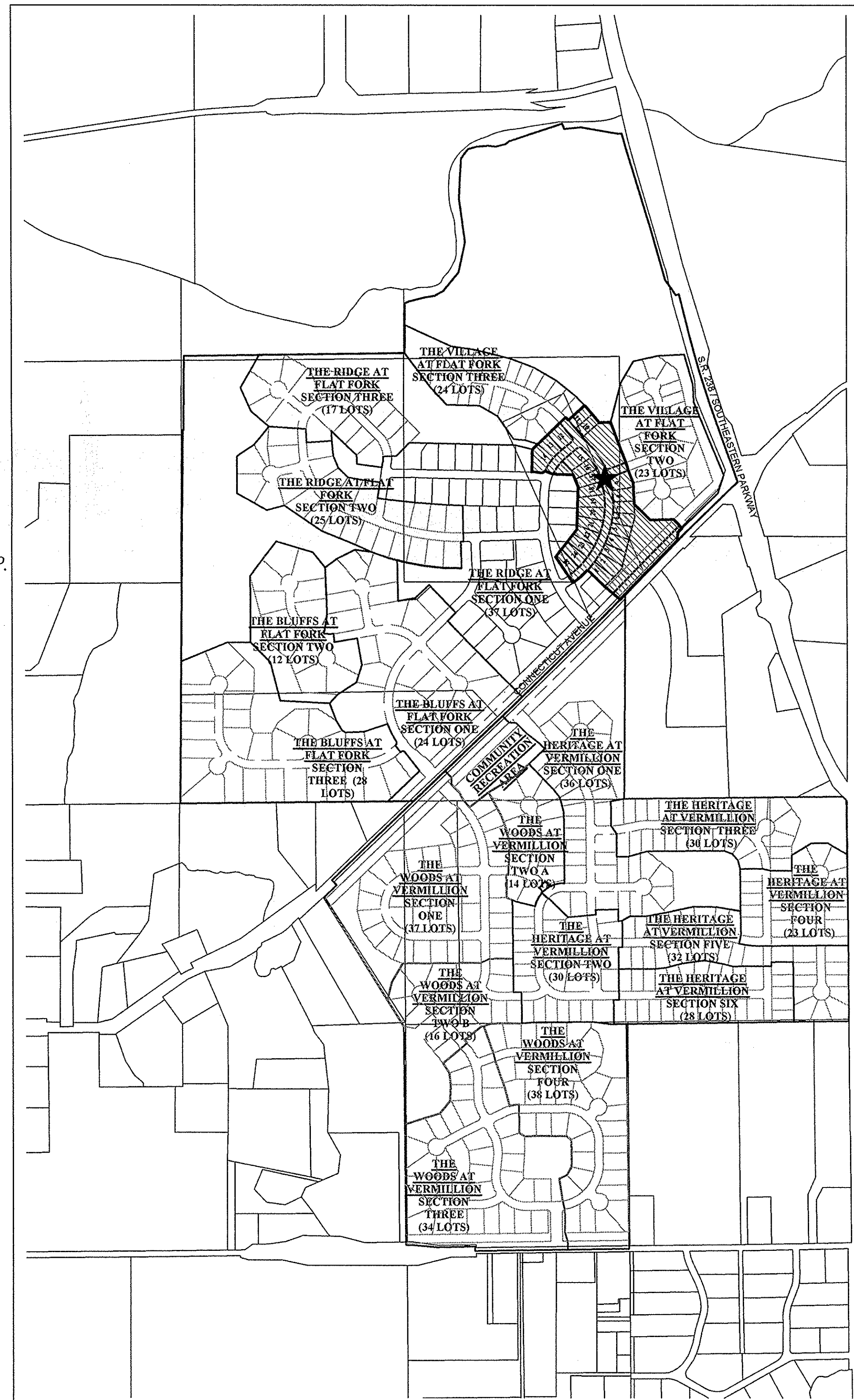
PLANS PREPARED BY
WEIHE ENGINEERS, INC.
10505 N. COLLEGE AVE.
INDIANAPOLIS, IN 46280
(317)846-6611
CONTACT PERSON: COLIN PATTERSON



ERRORS AND OMISSIONS STATEMENT
DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OF OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED OF COMPLYING WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.

NOTE:
THE HAMILTON COUNTY SURVEYOR OFFICE, HAMILTON COUNTY HIGHWAY DEPARTMENT, HSE UTILITIES, AND FORTVILLE WATER STANDARDS SHALL BE INCORPORATED BY REFERENCE INTO THESE PLANS.

LATITUDE: 39°56'54" N, LONGITUDE: 85°52'04" W



F.E.M.A. F.I.R.M.

SHEET INDEX

SHEET NO.	DESCRIPTION
C001	TITLE SHEET
C100-C101	EXISTING CONDITIONS / DEMOLITION PLAN
C200-C201	STORMWATER POLLUTION PREVENTION PLAN PHASE 1
C202-C203	STORMWATER POLLUTION PREVENTION PLAN PHASE 2
C204-C206	STORMWATER POLLUTION PREVENTION DETAILS & SPECS.
C300-C302	DEVELOPMENT PLAN
C400-C401	STREET PLAN & PROFILE/INTERSECTION DETAILS
C402-C405	STREET DETAILS & SPECIFICATIONS
C406	TRAFFIC CONTROL/SIGNAGE/SUMP PLAN
C500-C501	SANITARY SEWER PLAN & PROFILE
C502-C503	SANITARY SEWER DETAILS & SPECIFICATIONS
C600-C603	STORM SEWER PLAN & PROFILE
C604-C606	STORM SEWER DETAILS
C700	WATER MAIN PLAN
C701-C703	WATER MAIN DETAILS & SPECIFICATIONS
L1-L2	LANDSCAPE PLANS - STREET TREES & DETAILS

BENCHMARK

- HSE 29**
HSE DISC IN CONCRETE SET 5' SOUTH OF THE SOUTH BACK OF CURB ALONG 101ST ST., 1800'+/- EAST OF CYNTHIANNE RD., 33' WEST OF THE FIRST DRIVE WEST OF THE BRIDGE OVER FLATFORK CREEK.
N=1707462.37
E=269743.89
EL=855.00 (NAVD 88)
- TBM 1**
RAILROAD SPIKE SET IN THE SOUTHWEST SIDE OF A 20" TREE LOCATED ON THE SOUTHWEST SIDE OF CONNECTICUT AVENUE, APPROXIMATELY 1,104'+/- SOUTHWEST OF THE INTERSECTION OF CONNECTICUT AVENUE WITH STATE ROAD 238.
N=1711251
E=21743
EL=858.88 (NAVD 88)
- TBM 2**
RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R6E.
N=1709400
E=273165
EL=864.60 (NAVD 88)
- TBM 3**
MAG NAIL SET IN THE NORTH SIDE OF A UTILITY POLE LOCATED ON THE SOUTH SIDE OF 101ST STREET, APPROXIMATELY 1,097'+/- EAST OF THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R6E.
N=1707470
E=271220
EL=863.33 (NAVD 88)

SITE DATA

STREET:	LENGTHS:
EDGEWOOD DRIVE	272.26 L.F.±
BUCK RIDGE LANE	150.88 L.F.±
CLIFFSIDE DRIVE	1,104.33 L.F.±
TOTAL	1,527.27 L.F.±

NOTE: DESIGN SPEED FOR ALL INTERIOR ROADS SHALL BE 25 MPH.



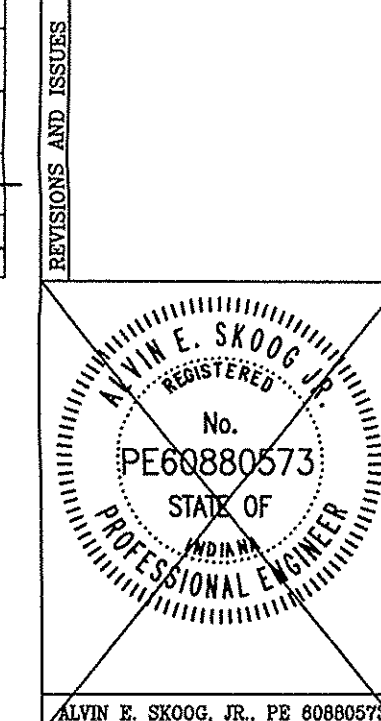
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weihe.net
317 846 - 6611
800 1 452 - 6408
317 1 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.: W13.0129
DRG NAME: AS 001 This Sheet
DESIGNED BY:
DRAWN BY: MEZ
CHECKED BY: CJP
DATE: 09/08/2014

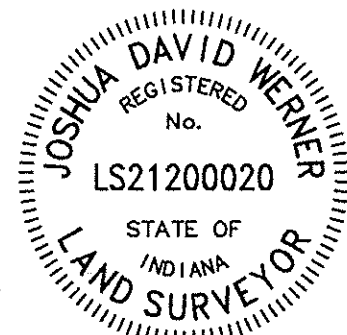


ALVIN E. SKOOG, JR. PE 60880573

PREPARED FOR:
THE VILLAGE AT FLAT FORK
SECTION ONE
REPUBLIC DEVELOPMENT, LLC
TITLE SHEET
Part of the 28.88 1/4 of Section 15, Township 17 North, Range 6 East, Field Creek Township, Hamilton County, Indiana.
SHEET NO.
C001
PROJECT NO.
W13.0129

RECORD DRAWING
DEVELOPMENT PLAN AS-BUILTS
PADS & SWALES ONLY
01/25/2016

JOSHUA DAVID WERNER, LS21200020



- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT SPOT ELEVATION
- AS-BUILT SUBSURFACE DRAIN LATERAL

LEGEND

- RIGHT-OF-WAY LINE
- STORM SEWER LINE
- SWALE
- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER LATERAL
- FLOW DIRECTION
- EXISTING SPOT ELEVATION
- EXISTING CONTOURS
- PROPOSED ELEVATION
- STORM BEHAVE INLET
- STORM INLET
- TOP OF CASTING
- INVERT
- REINFORCED CONCRETE PIPE
- MANHOLE
- STRUCTURE
- DRAINAGE AND UTILITY EASEMENT
- SANITARY DRAINAGE AND UTILITY EASEMENT
- SANITARY SEWER EASEMENT
- SANITARY SEWER
- HANDICAP RAMP
- SAN
- H.C.
- M.E.
- STIM
- GRANULAR BACKFILL
- CONCRETE END SECTION
- SUBSURFACE DRAIN
- SANITARY SEWER PIPE (SDR-35)
- (UNLESS OTHERWISE NOTED)
- TYPICAL
- MINIMUM FLOOD PROTECTION GRADE
- EXISTING GRADE (PREVIOUS SECTION)
- RADIUS
- PAD ELEV (65'X55' UNLESS OTHERWISE NOTED)
- NO PAD REQUIRED
- VARIABLE WIDTH
- A.D.A. RAMP
- MINIMUM FINISHED FLOOR ELEVATION (12" ABOVE PAD)
- MINIMUM FLOOD PROTECTION GRADE (DENOTES LOWEST OPENING 2 FT. ABOVE B.F.E. OF MILL CREEK)
- PROPOSED LOOK-OUT ELEVATION (NO HALF PAD CONSTRUCTION)
- PROPOSED WALK-OUT ELEVATION
- DENOTES WATER QUALITY BMP
- DENOTES LOTS WITH SPECIAL DRAINAGE (SWALES) TO DRAIN WATER AROUND THE PROPOSED PAD/HOUSE
- EMERGENCY OVERFLOW ROUTE
- ALL LANES, TAPERS, WIDENINGS, AND APPROACHES INSTALLED WITHIN THE R/W OF CONNECTICUT AVENUE SHALL MEET THE SPECIFICATIONS FOR ARTERIAL ROADS. 1" HMA SURFACE ON 5" HMA INTERMEDIATE ON 14" STONE BASE ON PREPARED SUBGRADE.

NOTES:

1. CONNECTICUT AVENUE IS TO BE WIDENED TO (2) TWO, (12) TWELVE FOOT WIDE LANES. EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A SMOOTH TRANSITION.
2. DRAIN MAINTENANCE WILL OCCUR THROUGH CONSERVATION EASEMENTS WHERE DRAINS ARE LOCATED.

BENCHMARK

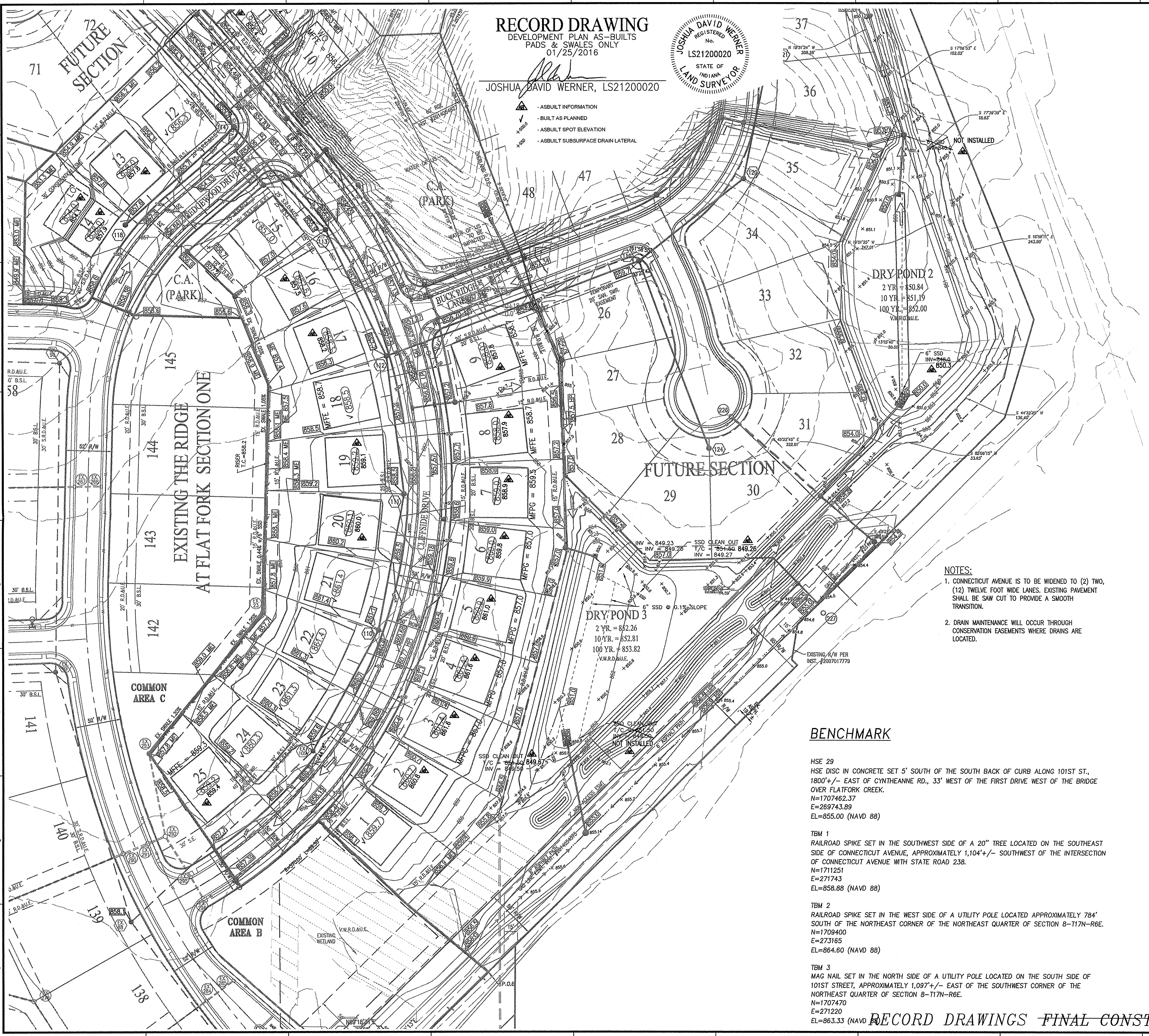
- HSE 29
HSE DISC IN CONCRETE SET 5' SOUTH OF THE SOUTH BACK OF CURB ALONG 101ST ST., 1800'+/- EAST OF CYNTHIANNE RD., 33' WEST OF THE FIRST DRIVE WEST OF THE BRIDGE OVER FLATFORK CREEK.
N=1707462.37
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E=271743
EL=858.88 (NAVD 88)
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N=1709400
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N=1707470
E=271220
EL=863.33 (NAVD 88)

This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.

Entry Date: Oct 2014
Entered By: glm

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weih.e.net
317 846 - 6611
800 1452 - 6408
317 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

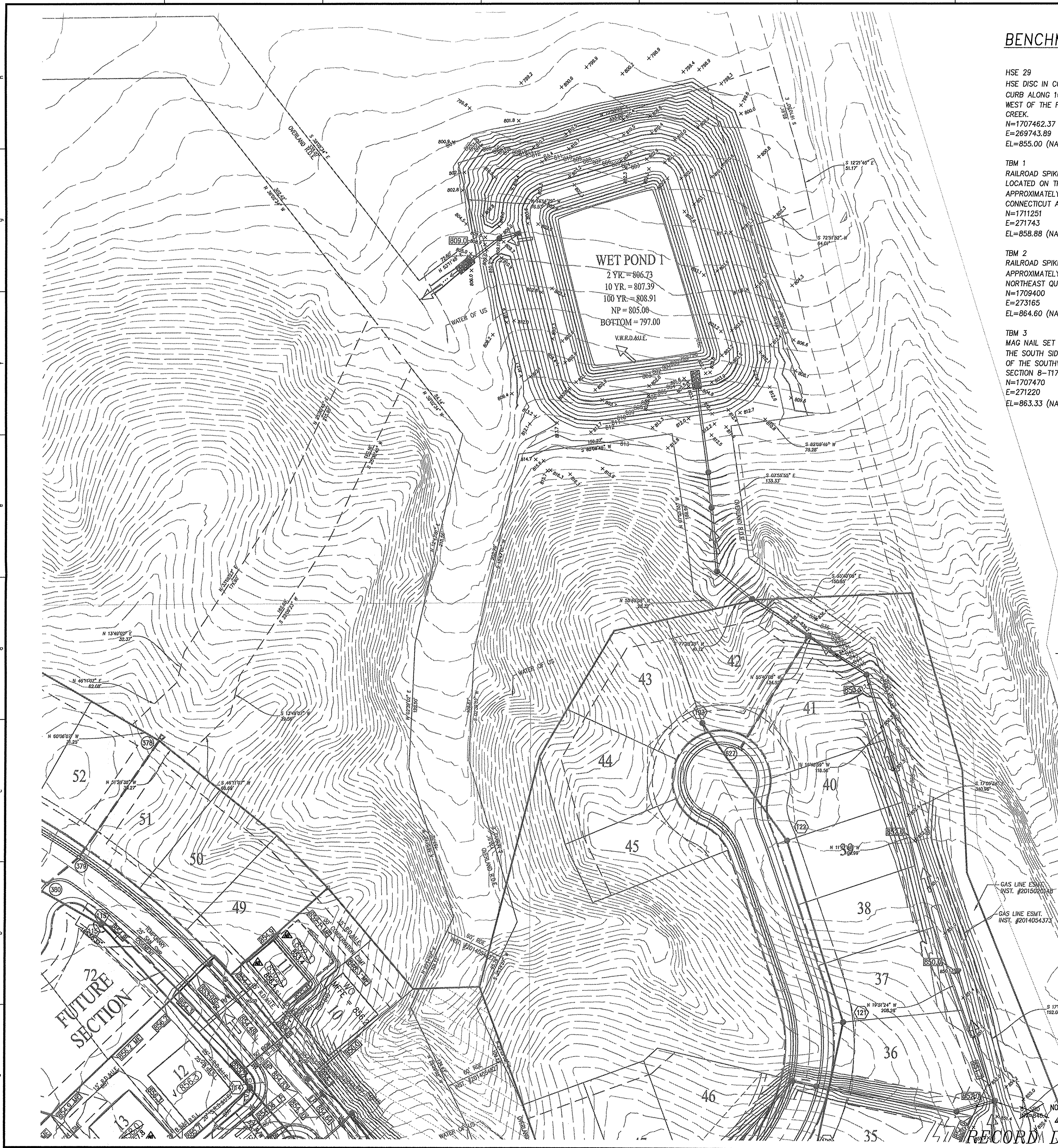
WEIHE ENGINEERS
Land Surveying/Civil Engineering
Landscape Architecture

PROJECT NO.:	W13.0129
DWG. NAME:	AS-BUILT DEVELOPMENT PLAN
DESIGNER:	GLM
DRAWN BY:	MEZ
CHECKED BY:	GLM
DATE:	09.08.2014

ALVIN E. SKOOG, JR., P.E.
No. PE60880573
STATE OF INDIANA
PROFESSIONAL ENGINEER

PREPARED FOR:
THE VILLAGE AT FLAT FORK
SECTION ONE
REPUBLIC DEVELOPMENT, LLC
DEVELOPMENT PLAN

SHEET NO.
C300
PROJECT NO.
W13.0129



WET POND 1

2 YR. = 806.73
 10 YR. = 807.39
 100 YR. = 808.91
 NP = 805.00
 BOTTOM = 797.00
 V.V.R.D.&U.E.

BENCHMARK

HSE 29
 HSE DISC IN CONCRETE SET 5' SOUTH OF THE SOUTH BACK OF CURB ALONG 101ST ST., 1800'+/- EAST OF CYNTHIANNE RD., 33' WEST OF THE FIRST DRIVE WEST OF THE BRIDGE OVER FLATFORK CREEK.
 N=1707462.37
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 RAILROAD SPIKE SET IN THE SOUTHWEST SIDE OF A 20" TREE LOCATED ON THE SOUTHEAST SIDE OF CONNECTICUT AVENUE, APPROXIMATELY 1,104'+/- SOUTHWEST OF THE INTERSECTION OF CONNECTICUT AVENUE WITH STATE ROAD 238.
 N=1711251
 E=271743
 EL=858.88 (NAVD 88)

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 RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-117N-R6E.
 N=1709400
 E=273165
 EL=864.60 (NAVD 88)

TBM 3
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 N=1707470
 E=271220
 EL=863.33 (NAVD 88)

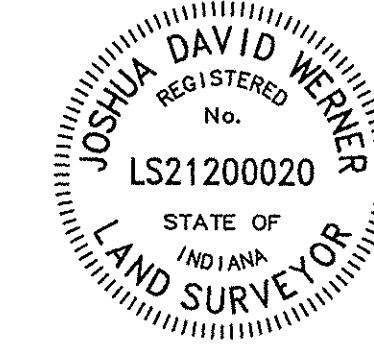
NOTE:

1. DRAIN MAINTENANCE WILL OCCUR THROUGH CONSERVATION EASEMENTS WHERE DRAINS ARE LOCATED.

RECORD DRAWING
 DEVELOPMENT PLAN AS-BUILTS
 PADS & SWALES ONLY
 01/25/2016

JOSHUA DAVID WERNER, LS21200020

- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT SPOT ELEVATION
- AS-BUILT SUBSURFACE DRAIN LATERAL



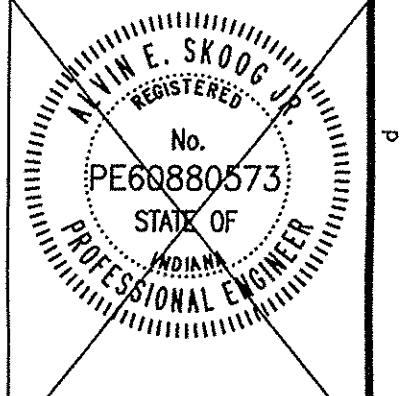
LEGEND

- = RIGHT-OF-WAY LINE
- = STORM SEWER LINE
- = SWALE
- = SANITARY SEWER LINE
- = SANITARY SEWER MANHOLE
- = SANITARY SEWER LATERAL
- = FLOW DIRECTION
- = EXISTING SPOT ELEVATION
- = PROPOSED ELEVATION
- = STORM INLET
- = STORM INVERT
- = TOP OF CASTING
- = INVERT
- = REINFORCED CONCRETE PIPE
- = MANHOLE STRUCTURE
- = DRAINAGE AND UTILITY EASEMENT
- = SANITARY, DRAINAGE, AND UTILITY EASEMENT
- = SANITARY SEWER EASEMENT
- = SANITARY SEWER
- = HANDICAP RAMP
- = MATCH EXISTING GRADE AND SUMP LINE
- = STORM SEWER
- = SUBSURFACE DRAIN AND SUMP LINE
- = GRANULAR BACKFILL
- = CONCRETE END SECTION
- = SUBSURFACE DRAIN
- = SANITARY SEWER PIPE (SOR-35)
(UNLESS OTHERWISE NOTED)
- = TYPICAL
- = MATCH EXISTING GRADE
- = EXISTING GRADE (PREVIOUS SECTION) RADIUS
- = PAD ELEV (65'x65' UNLESS OTHERWISE NOTED)
- = NO PAD REQUIRED
- = VARIABLE WIDTH
- = A.D.A. RAMP
- = MFFF = MINIMUM FINISHED FLOOR ELEVATION (12" ABOVE PAD)
- = MFFG = MINIMUM FLOOD PROTECTION GRADE (DENOTES LOWEST OPENING 2 FT. ABOVE B.F.E. OF MILL CREEK)
- = 788.0 LO = PROPOSED LOOK-OUT ELEVATION (NO HALF PAD CONSTRUCTION)
- = 788.0 WO = PROPOSED WALK-OUT ELEVATION
- = DENOTES LOTS WITH SPECIAL DRAINAGE (SWALES) TO DRAIN WATER AROUND THE PROPOSED PAD/HOUSE
- = EMERGENCY OVERFLOW ROUTE

10505 N. College Avenue
 Indianapolis, Indiana 46280
 weih@weih.com
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 317 | 843 - 0546 fax
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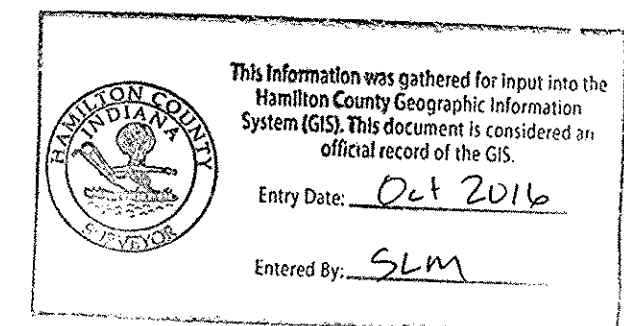
PROJECT NO.:	W13.0129
PROJ. NAME:	THE VILLAGE AT FLAT FORK
DESIGNED BY:	RME
DRAWN BY:	MEZ
CHECKED BY:	CPJ
DATE:	09-08-2014



ALVIN E. SKOOG, JR., PE 60880573

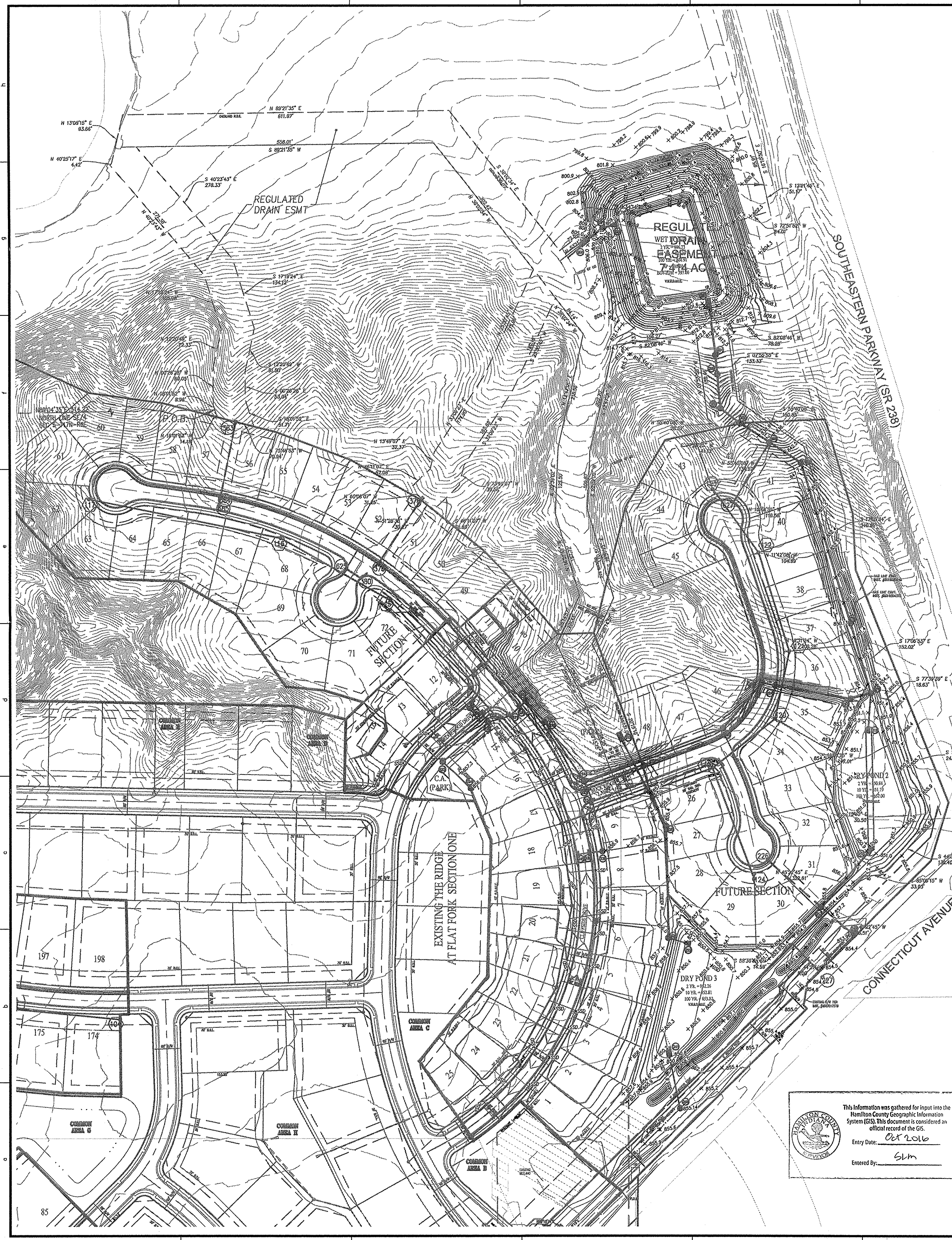
PREPARED FOR:
THE VILLAGE AT FLAT FORK
SECTION ONE
REPUBLIC DEVELOPMENT, LLC
 DEVELOPMENT PLAN

PROJECT NO.
C301
 W13.0129



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STORM SEWER STRUCTURE DATA TABLE				
STRUCTURE NUMBER	STRUCTURE TYPE	TOP OF CASTING	CASTING TYPE	INVERT
200	CONCRETE END SECTION	N/A	N/A	INV IN = 804.64(N) 804.65
201	MANHOLE	808.99 809.11	NEENAH R-4215-C	INV IN = 805.00(E) 805.11 INV OUT = 805.00(SW) 805.11
202	CONCRETE END SECTION	N/A	N/A	INV OUT = 805.00(W) 805.16
203	CONCRETE END SECTION	N/A	N/A	INV IN = 805.00(S) 805.14
204	MANHOLE	813.41 814.03	SOLID	INV IN = 809.15(S) 809.25 INV OUT = 806.70(N) 807.10
205	MANHOLE	816.72 819.34	SOLID	INV IN = 814.90(S) 814.78 INV OUT = 809.99(N) 810.05
206	MANHOLE	826.15 825.78	SOLID	INV IN = 821.08(SE) 820.94 INV OUT = 816.15(N) 816.10
207	MANHOLE	832.63 832.98	SOLID	INV IN = 827.08(SE) 827.54 INV OUT = 821.86(NW) 822.04
208	MANHOLE	838.47 838.24	SOLID	INV IN = 833.44(SE) 833.69 INV OUT = 828.44(NW) 828.84
209	MANHOLE	847.14 847.01	SOLID	INV IN = 837.80(S) 838.36 INV OUT = 834.85(NW) 835.30
210	MANHOLE	850.00 850.13	SOLID	INV IN = 842.00(S) 841.43 INV OUT = 839.60(N) 839.33
211	MANHOLE	852.90 852.07	SOLID	INV IN = 848.00(S) 848.21 INV IN = 842.92(W) 842.97 INV OUT = 842.82(N) 842.97
212	CONCRETE END SECTION	N/A	N/A	INV OUT = 850.00(N) 850.03
216	CONCRETE END SECTION	N/A	N/A	INV IN = 850.00(SW) 850.05
217	MANHOLE	854.18 855.16	SOLID	INV IN = 850.50(SE) 850.44 INV IN = 850.50(NW) 850.44 INV OUT = 850.40(NE) 850.44
218	INLET TYPE A	854.50 853.96	BEEHIVE	INV OUT = 850.00(NW) 851.16
219	CONCRETE END SECTION	N/A	N/A	INV OUT = 848.00(SE) 847.95
220	MANHOLE	856.00 855.97	BEEHIVE	INV IN = 848.48(NW) 848.58 INV OUT = 848.88(S) 848.58
221	MANHOLE	857.00 856.85	SOLID	INV IN = 849.08(N) 849.78 INV IN = 849.88(S) 849.97 INV OUT = 850.84(E) 850.17
222	CONCRETE END SECTION	N/A	N/A	INV IN = 851.00(W) 850.98
223	MANHOLE	854.20 854.05	SOLID	INV IN = 843.13(W) 843.10 INV OUT = 843.03(E) 843.09

STORM SEWER STRUCTURE DATA TABLE				
STRUCTURE NUMBER	STRUCTURE TYPE	TOP OF CASTING	CASTING TYPE	INVERT
224	MANHOLE	853.10 853.17	SOLID	INV IN = 843.63(W) 843.53 INV OUT = 843.53(E) 843.50
225	MANHOLE	853.10	✓ SOLID	INV IN = 843.83(SW) 843.74 INV OUT = 843.73(E) 843.74
226	MANHOLE	857.79 857.94	SOLID	INV IN = 844.40(W) 844.84 INV OUT = 844.30(N) 844.56
226A	MANHOLE	857.40 857.23	SOLID	INV IN = 849.70(S) 848.52 INV IN = 848.70(NW) 848.52 INV OUT = 845.51(E) 845.43
227	MANHOLE	856.75 856.82	NEENAH R-3501-TL	INV IN = 850.40(S) 850.01 INV OUT = 848.74(N) 848.64
228	MANHOLE	855.60 855.05	SOLID	INV IN = 849.19(N) 848.91 INV OUT = 849.08(SE) 848.84
229	MANHOLE	854.97 854.42	SOLID	INV IN = 849.45(SW) 849.07 INV OUT = 849.35(SE) 849.04
230	MANHOLE	854.65 854.68	SOLID	INV IN = 849.80(SW) 849.53 INV OUT = 849.50(N) 849.39
231	MANHOLE	854.65 854.68	SOLID	INV IN = 849.78(W) 849.70 INV OUT = 849.68(N) 849.70
232	MANHOLE	855.60 855.51	SOLID	INV IN = 851.00(SW) 850.67 INV IN = 850.04(NW) 849.84 INV OUT = 849.91(E) 849.84
233	MANHOLE	857.20 857.27	SOLID	INV IN = 852.08(SE) 851.83 INV OUT = 851.98(N) 851.77
234	INLET TYPE A	856.30 856.00	BEEHIVE	INV OUT = 852.30(NW) 852.28
235	INLET TYPE A	854.05 854.13	NEENAH R-3501-TL	INV IN = 850.18(NW) 850.10 INV OUT = 850.08(SE) 850.07
236	INLET TYPE A	854.05 854.10	NEENAH R-3501-TR	INV OUT = 850.28(SE) 850.41
237	MANHOLE	856.75	✓ NEENAH R-3501-TR	INV IN = 850.62(S) 850.33 INV OUT = 850.52(N) 850.33
238	MANHOLE	857.50 856.93	SOLID	INV IN = 851.20(W) 850.83 INV OUT = 851.10(N) 850.81
239	MANHOLE	856.90 856.85	NEENAH R-3501-TL	INV IN = 852.78(W) 852.21 INV IN = 851.32(E) 851.02
240	INLET TYPE A	856.90 856.87	NEENAH R-3501-TR	INV OUT = 852.94(E) 852.65
241	CONCRETE END SECTION	N/A	N/A	INV IN = 851.50(S) 851.48
242	INLET TYPE A	855.90 855.14	BEEHIVE	INV OUT = 852.00(N) 852.23

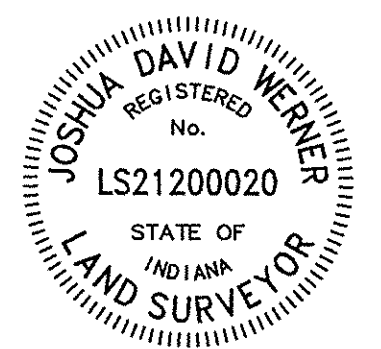
STORM SEWER PIPE DATA TABLE					
DOWNSTREAM STRUCTURE	UPSTREAM STRUCTURE	SIZE	MATERIAL	LENGTH	SLOPE
200	201	24"	RCP	36' 34"	1.06% 1.35%
201	202	24"	RCP	15' ✓	0.90% 0.33%
203	204	24"	RCP	86' 86"	2.90% 2.28%
204	205	24"	RCP	42' 36"	2.90% 2.22%
205	206	24"	RCP	63' 62"	2.90% 2.13%
206	207	24"	RCP	39' 35"	2.90% 3.14%
207	208	24"	RCP	68' ✓	2.90% 1.91%
208	209	24"	RCP	71' ✓	2.90% 2.27%
209	210	24"	RCP	312' 313'	0.58% 0.31%
210	211	24"	RCP	132' 136'	0.66% 1.13%
211	223	24"	RCP	40' 39'	0.25% 0.31%
212	211	15"	RCP	60' 63'	3.36% 2.89%
216	217	18"	RCP	130' 135'	0.34% 0.29%
217	218	12"	RCP	83' 79'	0.48% 0.91%
219	220	18"	RCP	176' 180'	-0.27% 0.29%
220	221	18"	RCP	210' 209'	-0.24% 0.11%
221		18"	RCP	10'	0.20%
221	222	12"	RCP	26' 31'	-1.46% 2.16%
223	224	24"	RCP	144' ✓	0.28% ✓
224	225	21"	RCP	26' 25'	0.38% 0.80%

STORM SEWER PIPE DATA TABLE					
DOWNSTREAM STRUCTURE	UPSTREAM STRUCTURE	SIZE	MATERIAL	LENGTH	SLOPE
225	226	21"	RCP	142' 114'	0.40% 0.72%
226	226A	21"	RCP	278' 279'	0.40% 0.28%
226A	228	18"	RCP	132' 133'	0.29% 0.24%
227	226A	18"	RCP	17' 14'	0.23% 0.86%
228	229	18"	RCP	54' 53'	0.34% 0.25%
229	230	18"	RCP	13' 14'	0.37% 2.29%
230	231	18"	RCP	26' 27'	0.31% 0.56%
231	232	15"	RCP	41' ✓	0.32% 0.34%
232	233	12"	RCP	116' 114'	0.86% 0.97%
232	235	15"	RCP	20' ✓	0.36% 1.15%
233	234	12"	RCP	70' 72'	0.34% 0.63%
235	236	12"	RCP	30' ✓	0.33% 1.03%
237	227	15"	RCP	26' ✓	0.46% 1.23%
238	237	15"	RCP	96' 93'	0.56% 0.52%
238	239	15"	RCP	22' ✓	0.58% 0.86%
239	240	12"	RCP	26' ✓	0.46% 1.69%
241	242	12"	RCP	93' 100'	0.53% 0.77%

This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
 Entry Date: Oct 2016
 Entered By: SLM

- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT SPOT ELEVATION
- AS-BUILT SUBSURFACE DRAIN LATERAL

RECORD DRAWING
 STORM SEWER & DEVELOPMENT PLAN AS-BUILTS
 STORM SEWER STRUCTURES, PADS, & SWALES ONLY
 01/25/2016
 JOSHUA DAVID WERNER, LS21200020

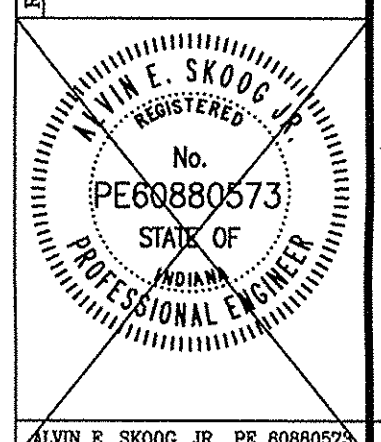


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 ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
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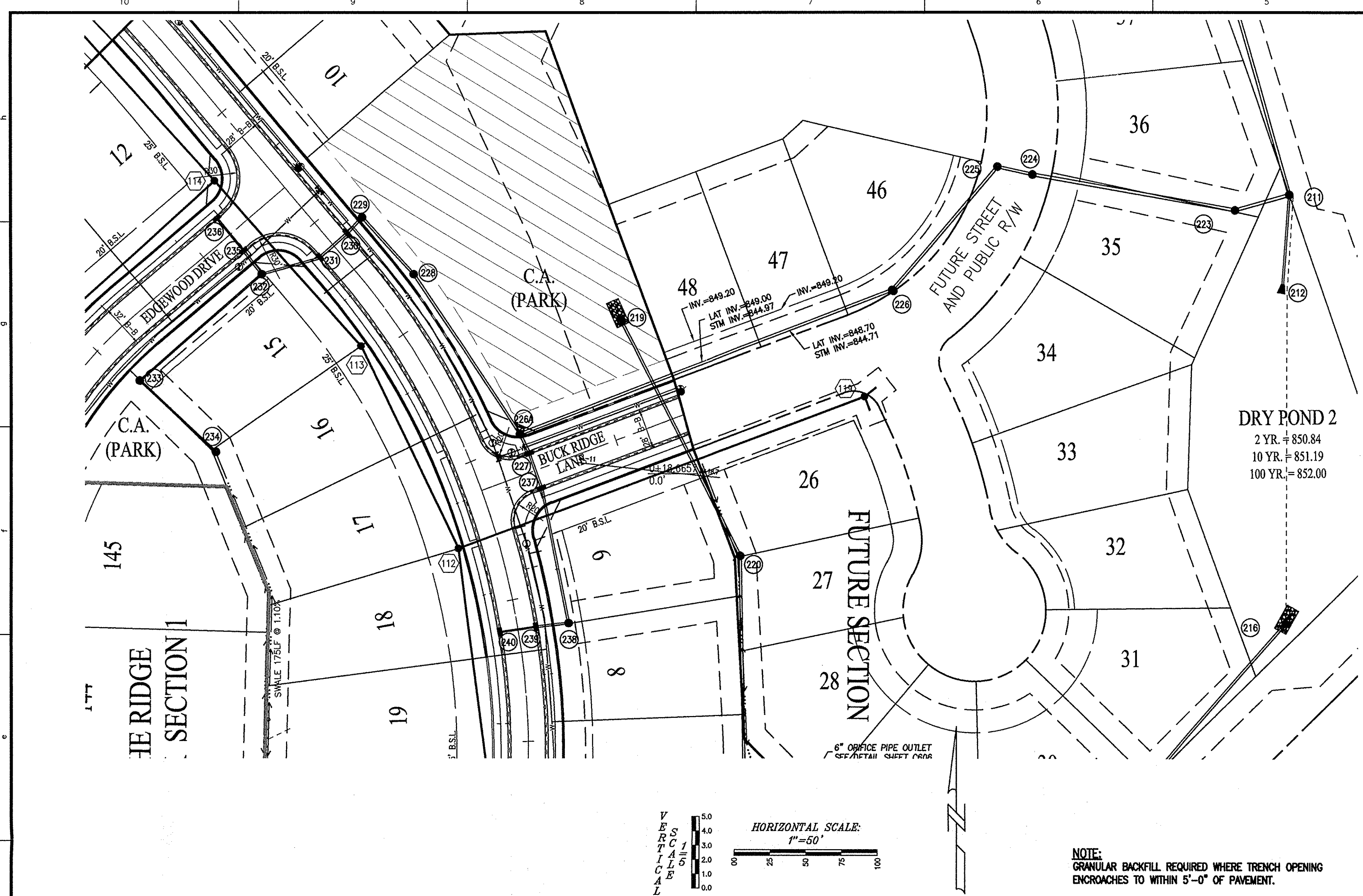
PROJECT NO.: W13.0129
 DATE: 09/08/2014
 DRAWN BY: MEZ
 CHECKED BY: JMW
 DATE: 09/08/2014



PREPARED FOR:
THE VILLAGE AT FLAT FORK
 SECTION ONE
 REPUBLIC DEVELOPMENT, LLC
 DEVELOPMENT PLAN

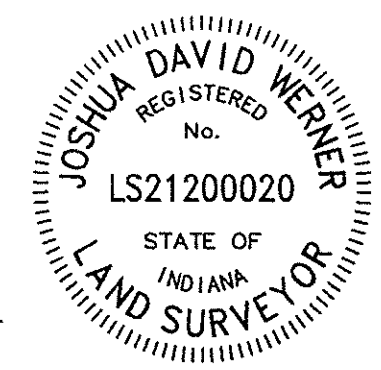
SHEET NO.
C302
 PROJECT NO.
 W13.0129

RECORD DRAWINGS FINAL CONSTRUCTION PLANS - 09/08/2014

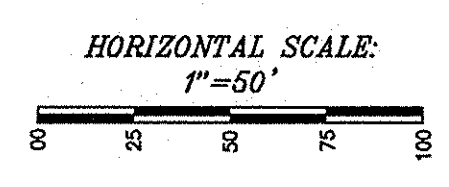
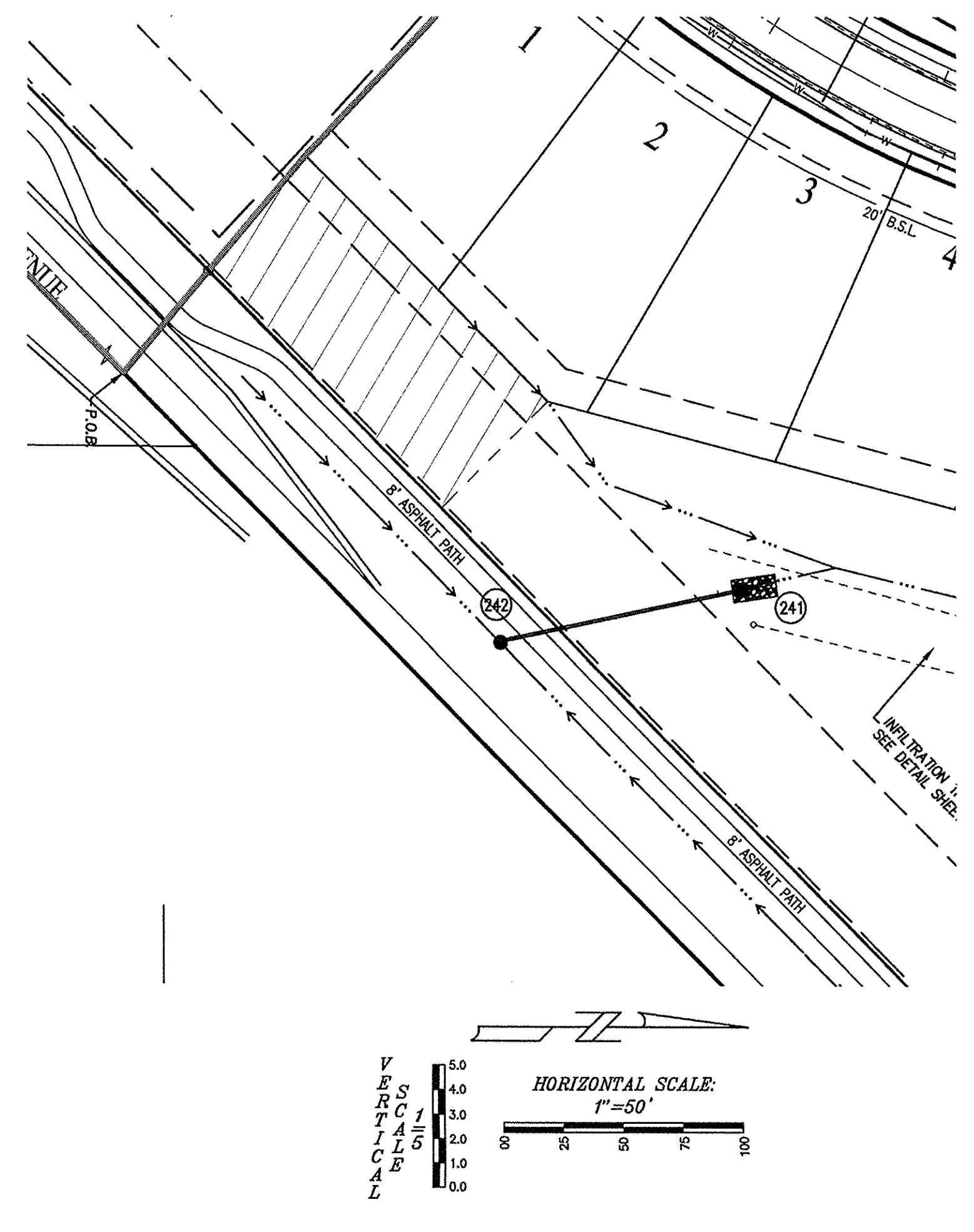
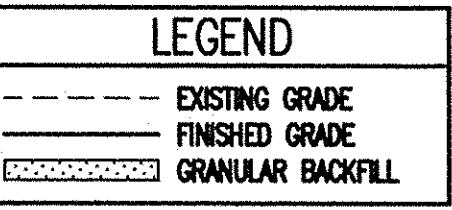


RECORD DRAWING
 STORM SEWER AS-BUILTS
 STORM SEWER STRUCTURES ONLY
 01/25/2016

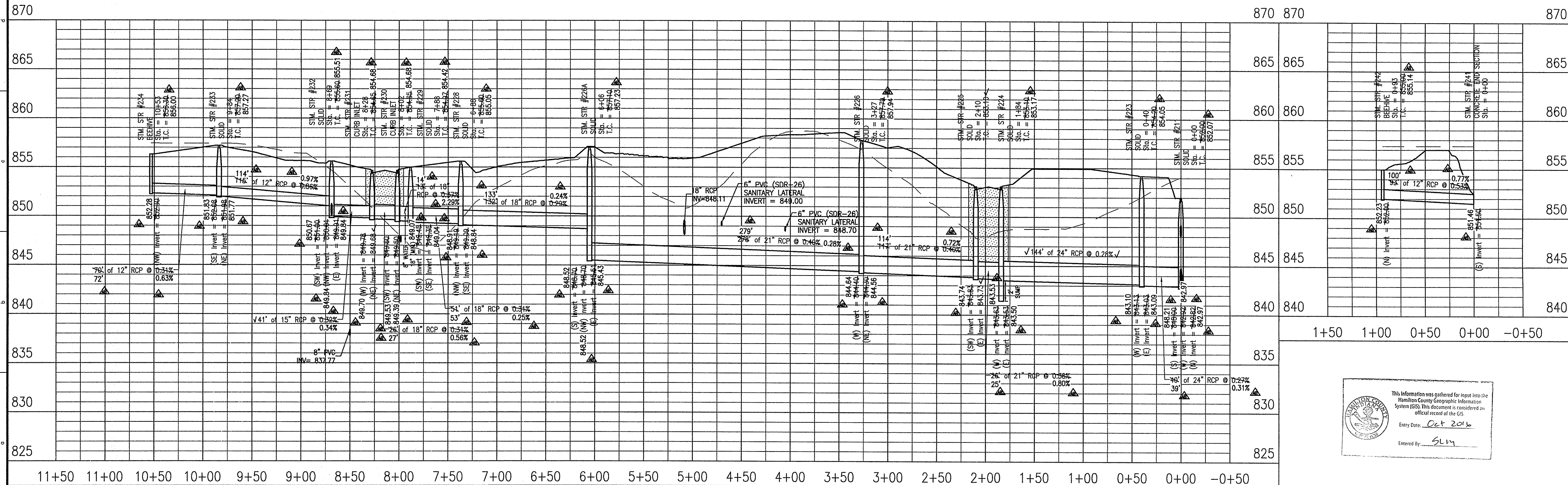
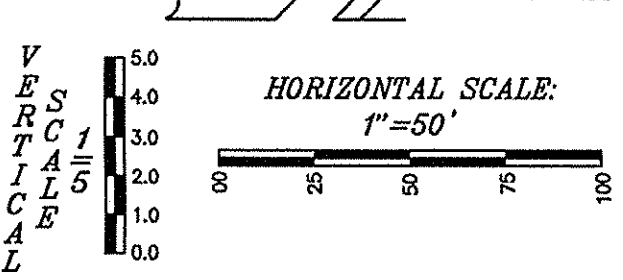
JOSHUA DAVID WERNER, LS21200020



- ▲ - AS-BUILT INFORMATION
- ▼ - BUILT AS PLANNED



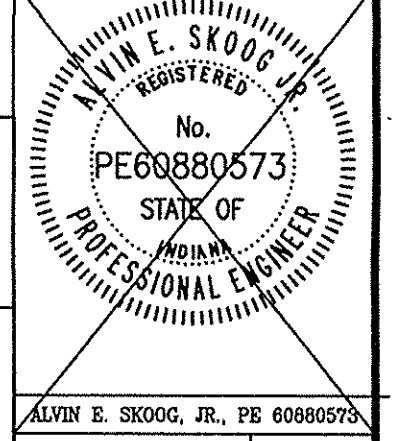
NOTE:
 GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING ENCROACHES TO WITHIN 5'-0" OF PAVEMENT.



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 800 | 452 - 6408
 317 | 843 - 0546 fax

WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture

PROJECT NO.:	W13.0129
DWG. NAME:	Storm Sewer
DESIGNED BY:	JAW
DRAWN BY:	MEZ
CHECKED BY:	MEZ
DATE:	09.08.2014

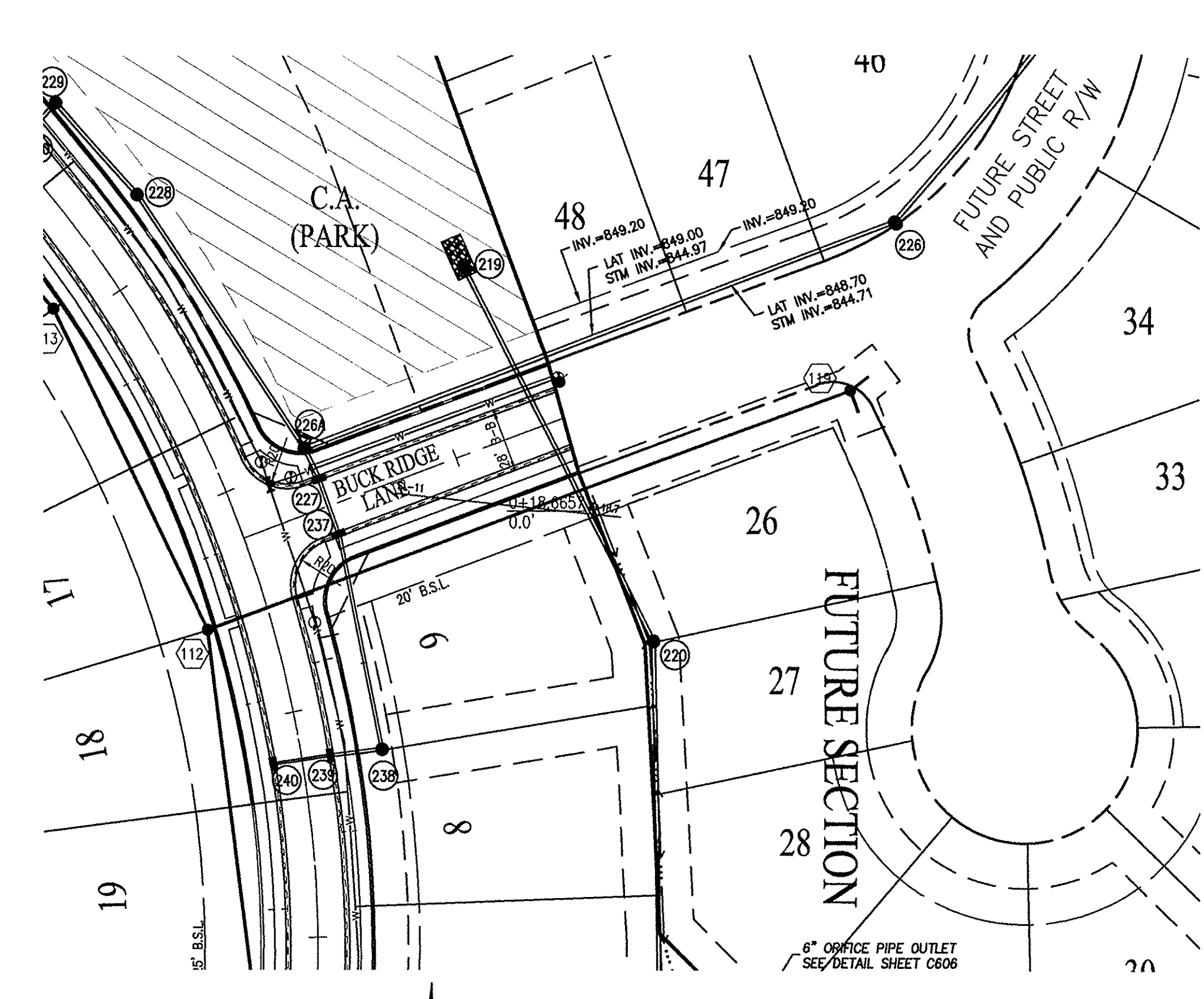
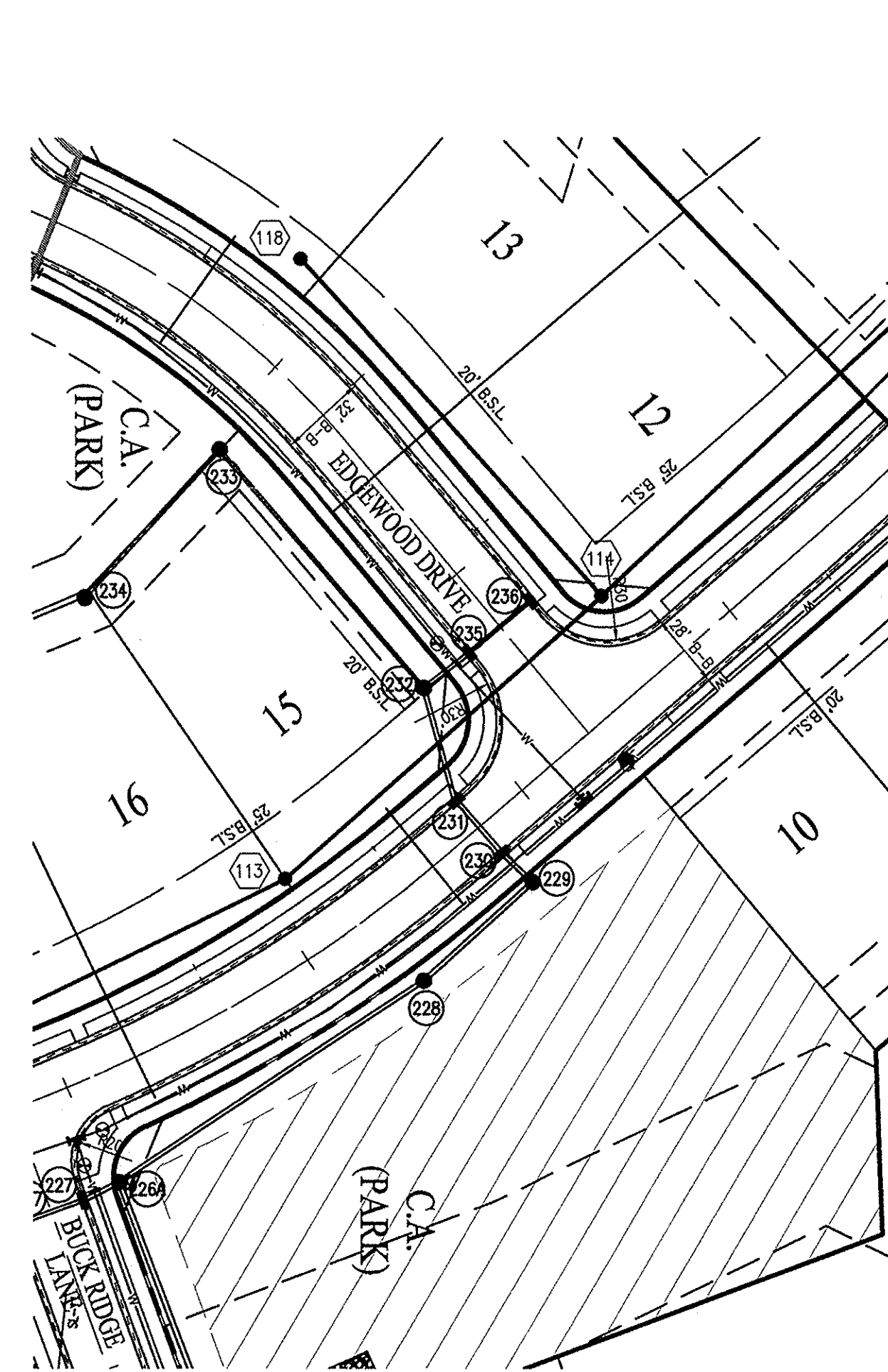
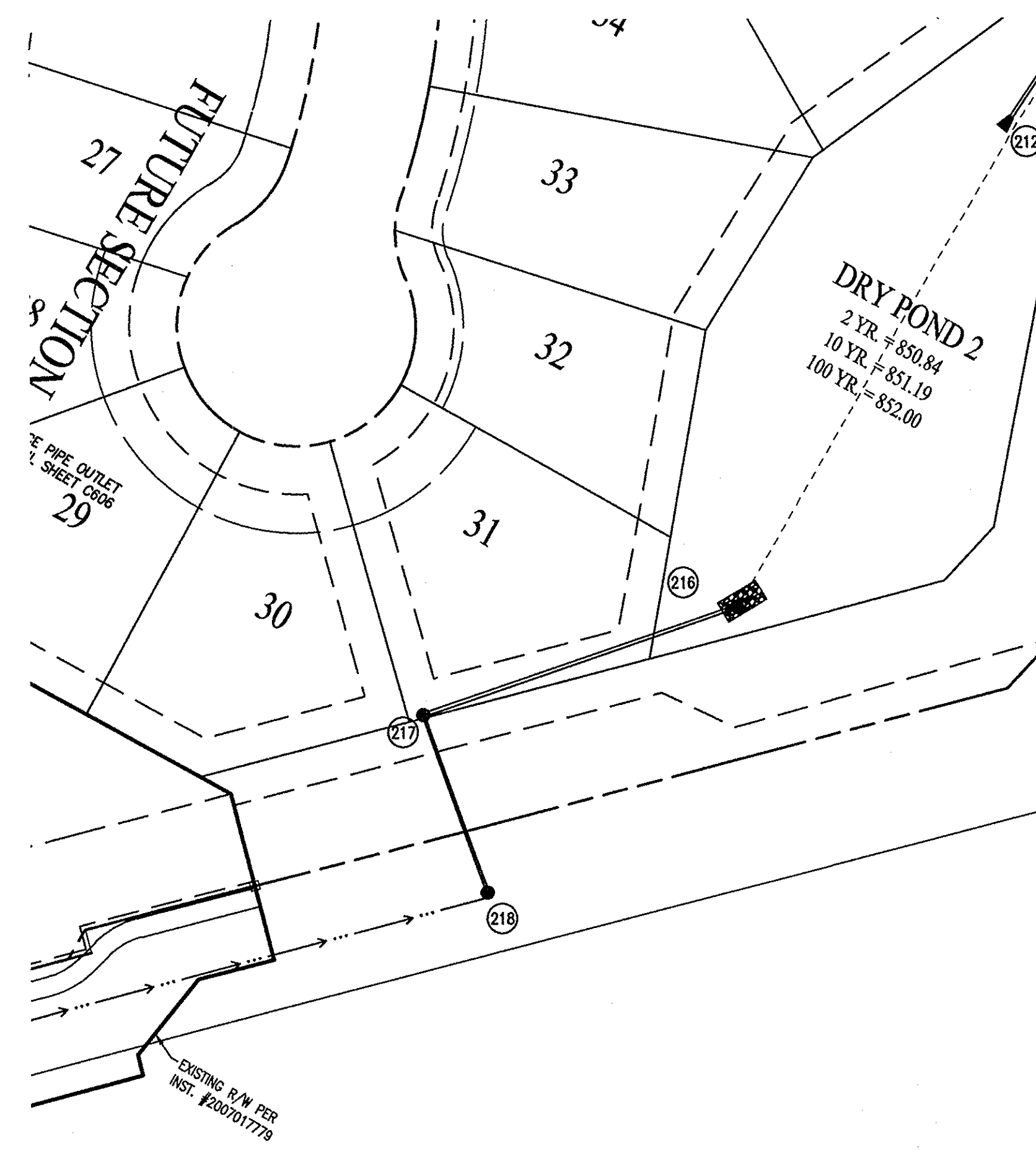


PREPARED FOR:
THE VILLAGE AT FLAT FORK
 SECTION ONE
 REPUBLIC DEVELOPMENT, LLC
STORM SEWER PLAN & PROFILE

Part of the 376.8' x 1/4" of Section 16, Township 17 North, Range 6 East, Paul Owen Township, Hamilton County, Indiana

PROJECT NO.
W13.0129

LOCATION: W:\2013\W13.0129\Section A1\Engineering\Design\Submittals\2016-NOV-AS-BUILTS\AS-Built\Storm Sewer Plan & Profile.dwg
 DATE/PLT: January 25, 2016 - 8:43am
 PLOTTED BY: hudson

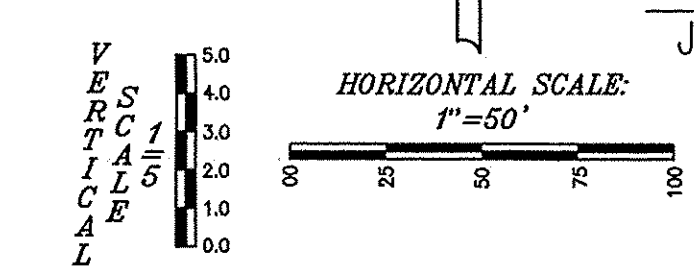
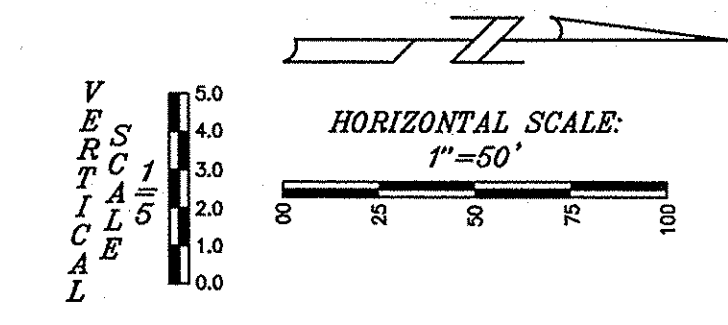
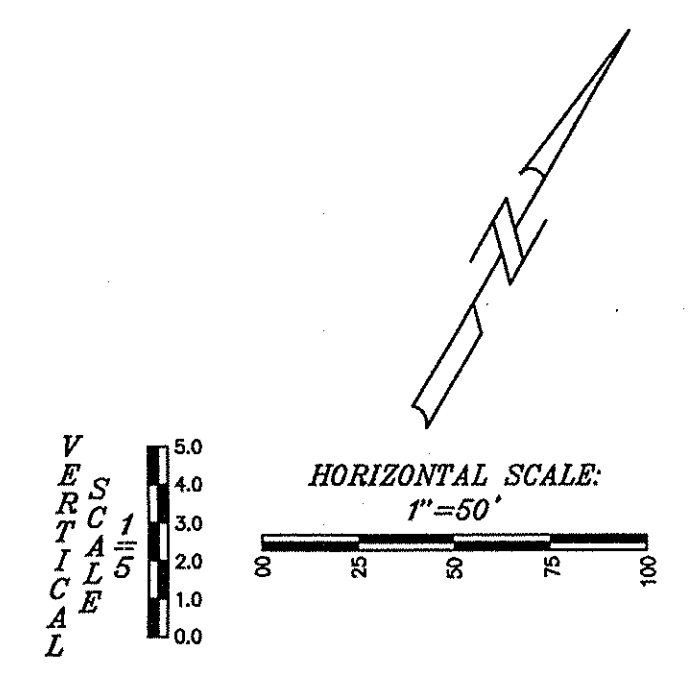


RECORD DRAWING
 STORM SEWER AS-BUILTS
 STORM SEWER STRUCTURES ONLY
 01/25/2016



JOSHUA DAVID WERNER, LS21200020

NOTE:
 GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING
 ENCROACHES TO WITHIN 5'-0" OF PAVEMENT.



AS-BUILT INFORMATION
 BUILT AS PLANNED

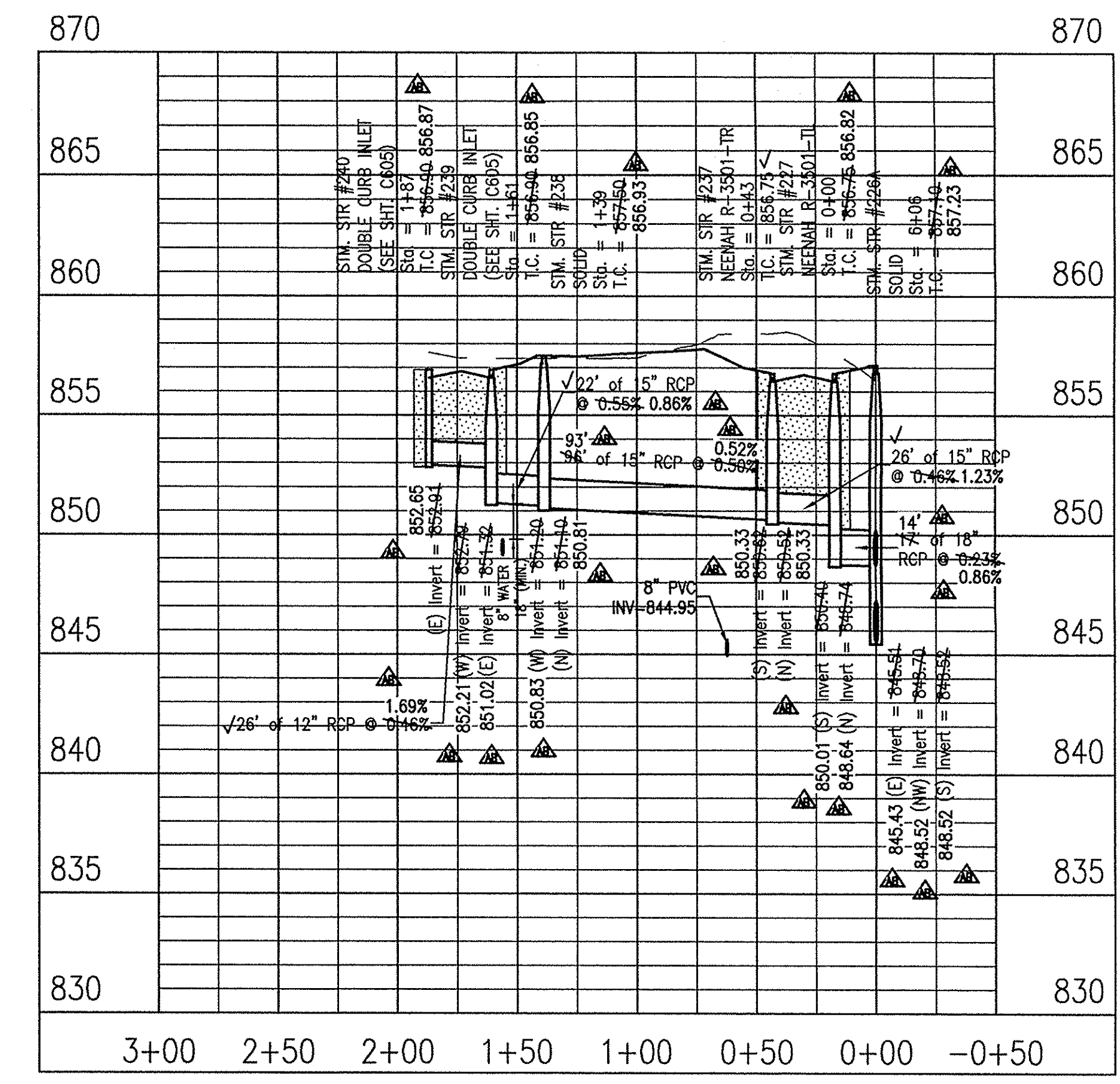
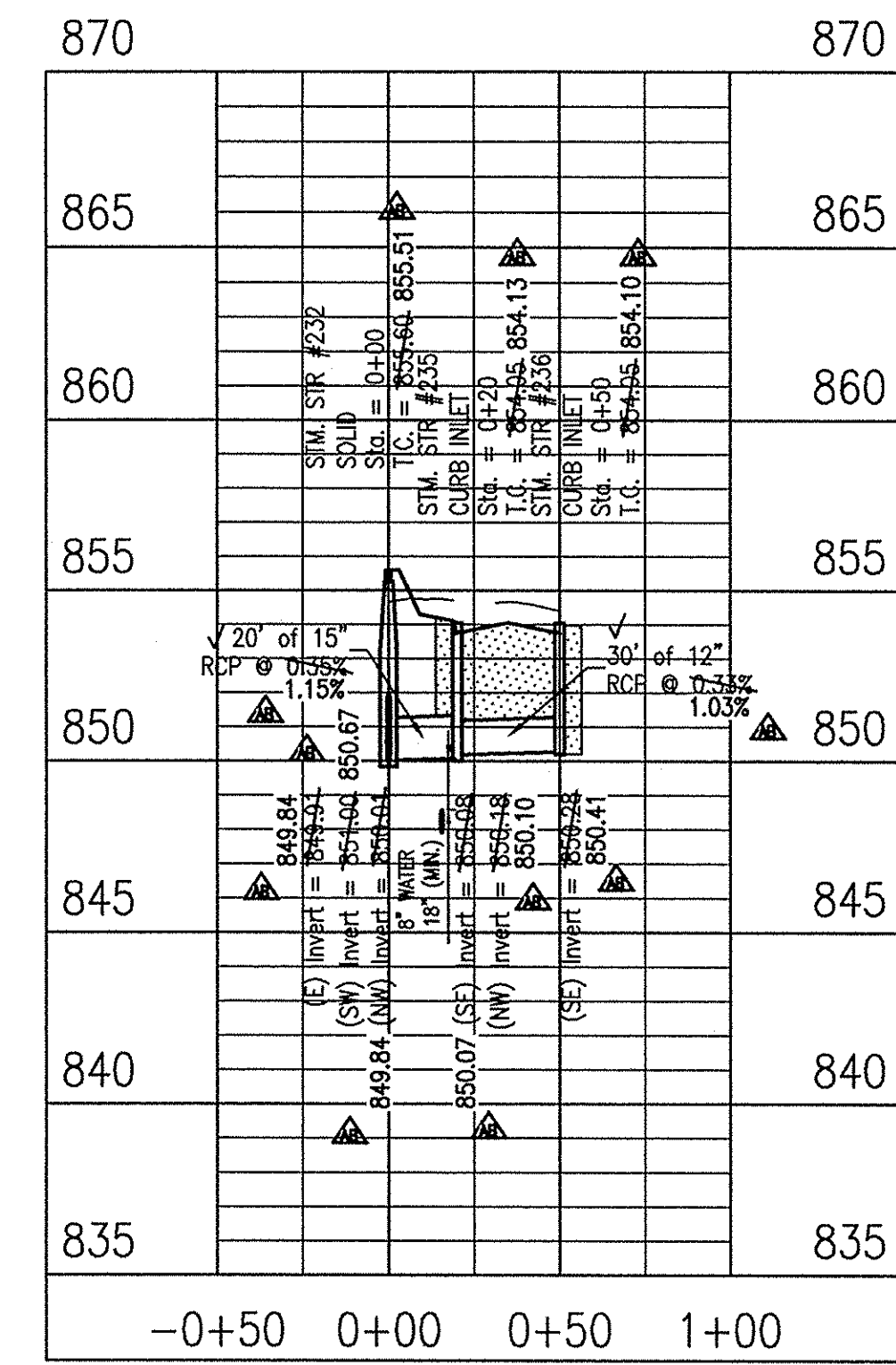
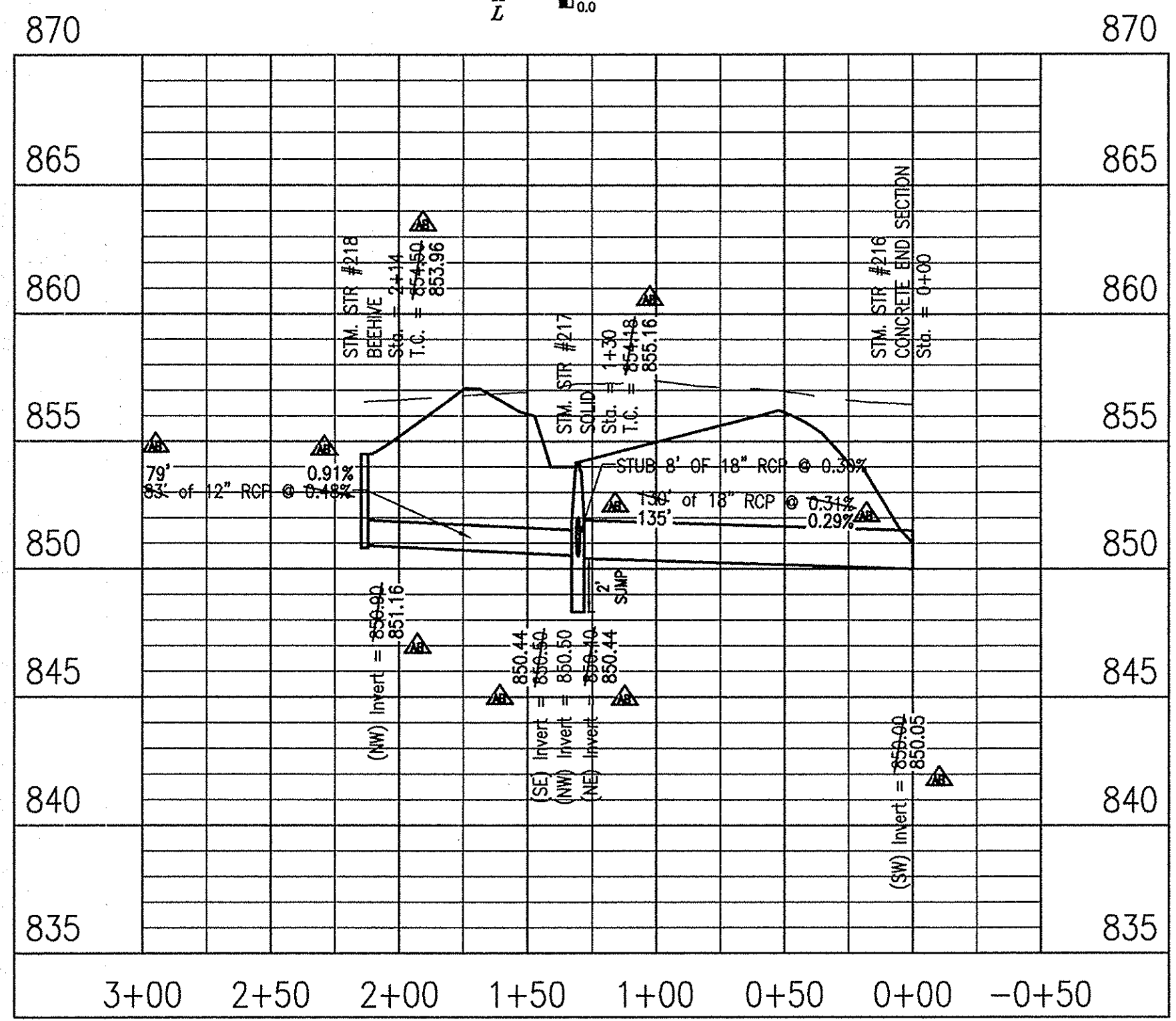
PROJECT NO.: W13.0129
 DRAWN BY: MEZ
 CHECKED BY: MEZ
 DATE: 09.08.2014

REVISIONS AND ISSUES

ALVIN E. SKOOG, JR., P.E. 60880073
 No. PE60880073
 STATE OF INDIANA
 PROFESSIONAL ENGINEER

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 Entry Date: Oct 2016
 Entered By: SLM

LEGEND

- EXISTING GRADE
- FINISHED GRADE
- GRANULAR BACKFILL

PREPARED FOR:
THE VILLAGE AT FLAT FORK
 SECTION ONE
 REPUBLIC DEVELOPMENT, LLC

STORM SEWER PLAN & PROFILE

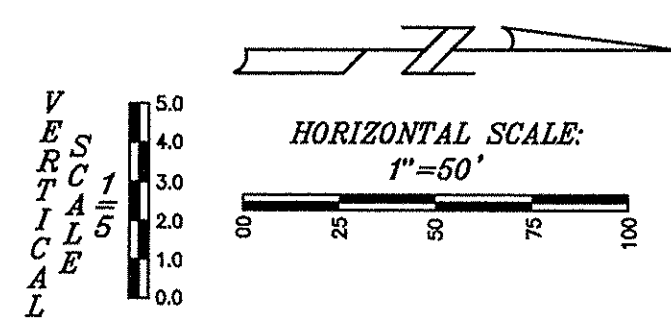
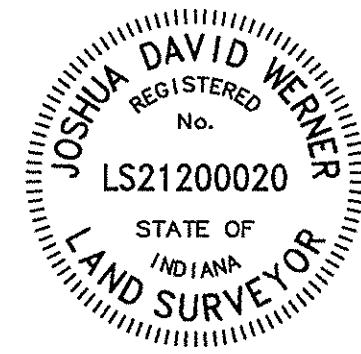
SHEET NO. **C601**
 PROJECT NO. W13.0129

LOCATION: A:\2013\W13.0129\Section A1\Engineering\Mapset\Verbena\2014-NOV AS-BUILTS\AS-BUILTS\AS-BUILTS\Storm R/W.dwg
 DATE PLOTTED: 09/08/2014 10:52:23 AM
 PLOTTED BY: hweide

RECORD DRAWING
STORM SEWER AS-BUILTS
STORM SEWER STRUCTURES ONLY
01/25/2016

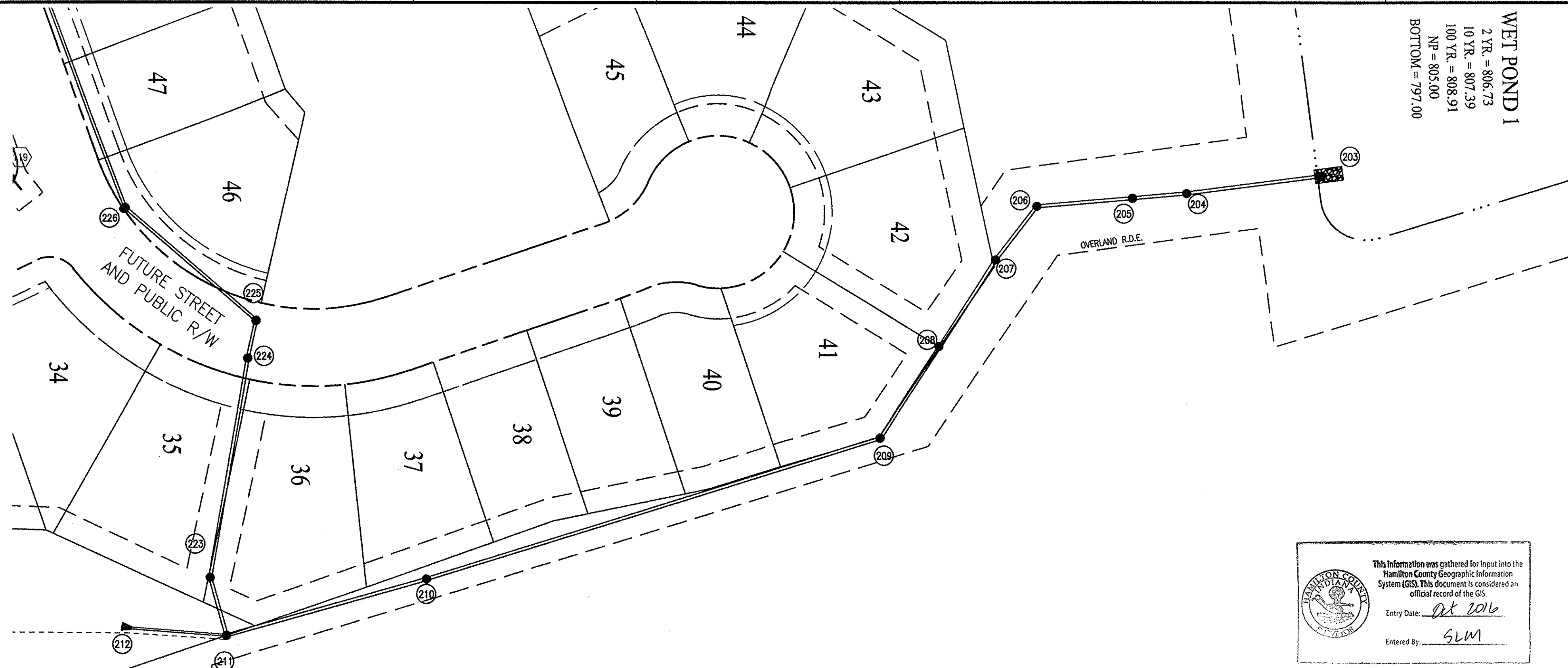
JOSHUA DAVID WERNER, LS21200020

- AS-BUILT INFORMATION
- BUILT AS PLANNED



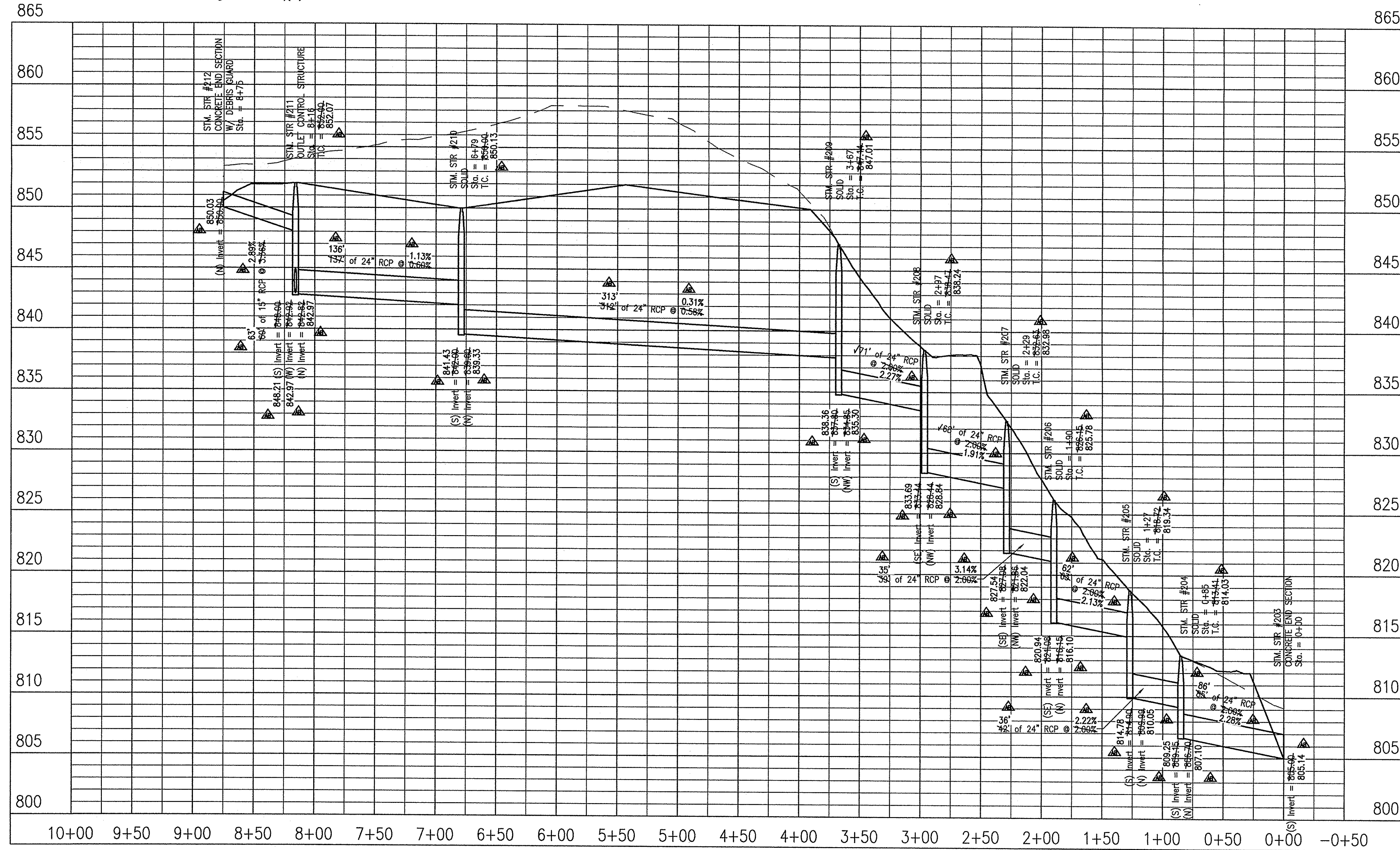
LEGEND	
	EXISTING GRADE
	FINISHED GRADE
	GRANULAR BACKFILL

NOTE:
GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING ENCROACHES TO WITHIN 5'-0" OF PAVEMENT.



WEST POND 1
2 YR. = 806.73
10 YR. = 807.39
100 YR. = 808.91
NP = 805.00
BOTTOM = 797.00

This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
Entry Date: 01/20/16
Entered By: SLM

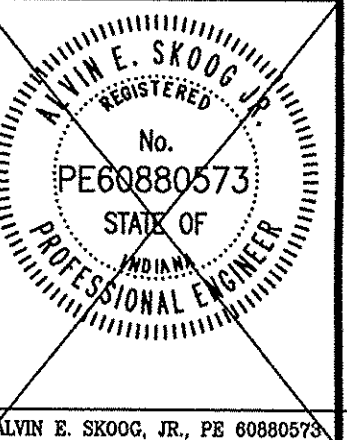


RECORD DRAWINGS FINAL CONSTRUCTION PLANS = 09/08/2014

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weilte.net
1191 848 1131
452 400 800
452 400 800
843 843 754 fax

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Landscape Architecture

PROJECT NO.: W13.0129
DATE: 09.08.2014
DESIGNED BY: RME
DRAWN BY: MEZ
CHECKED BY: SLM
DATE: 09.08.2014



PREPARED FOR:
THE VILLAGE AT FLAT FORK
SECTION ONE
REPUBLIC DEVELOPMENT, LLC
STORM SEWER PLAN & PROFILE
Part of the S&M 14 of Station 15, Township 15, Range 6 East, East One Township, Hamilton County, Indiana

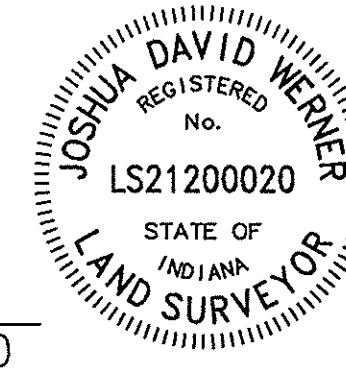
SHEET NO. **C602**
PROJECT NO. W13.0129

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DATE/FILE: January 25, 2016 - 03:37am
PRINTED BY: laudon

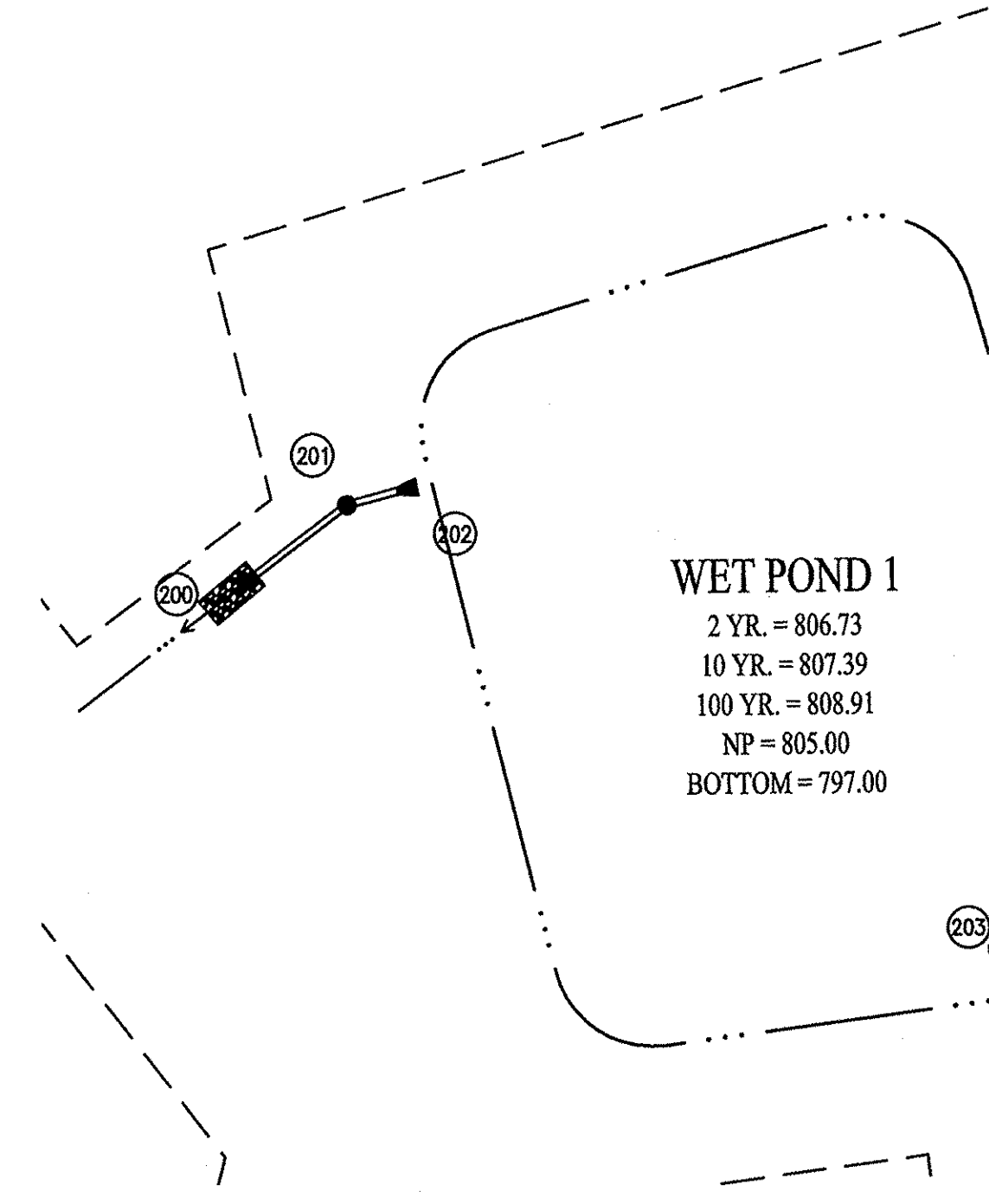
RECORD DRAWING

STORM SEWER AS-BUILTS
STORM SEWER STRUCTURES ONLY
01/25/2016

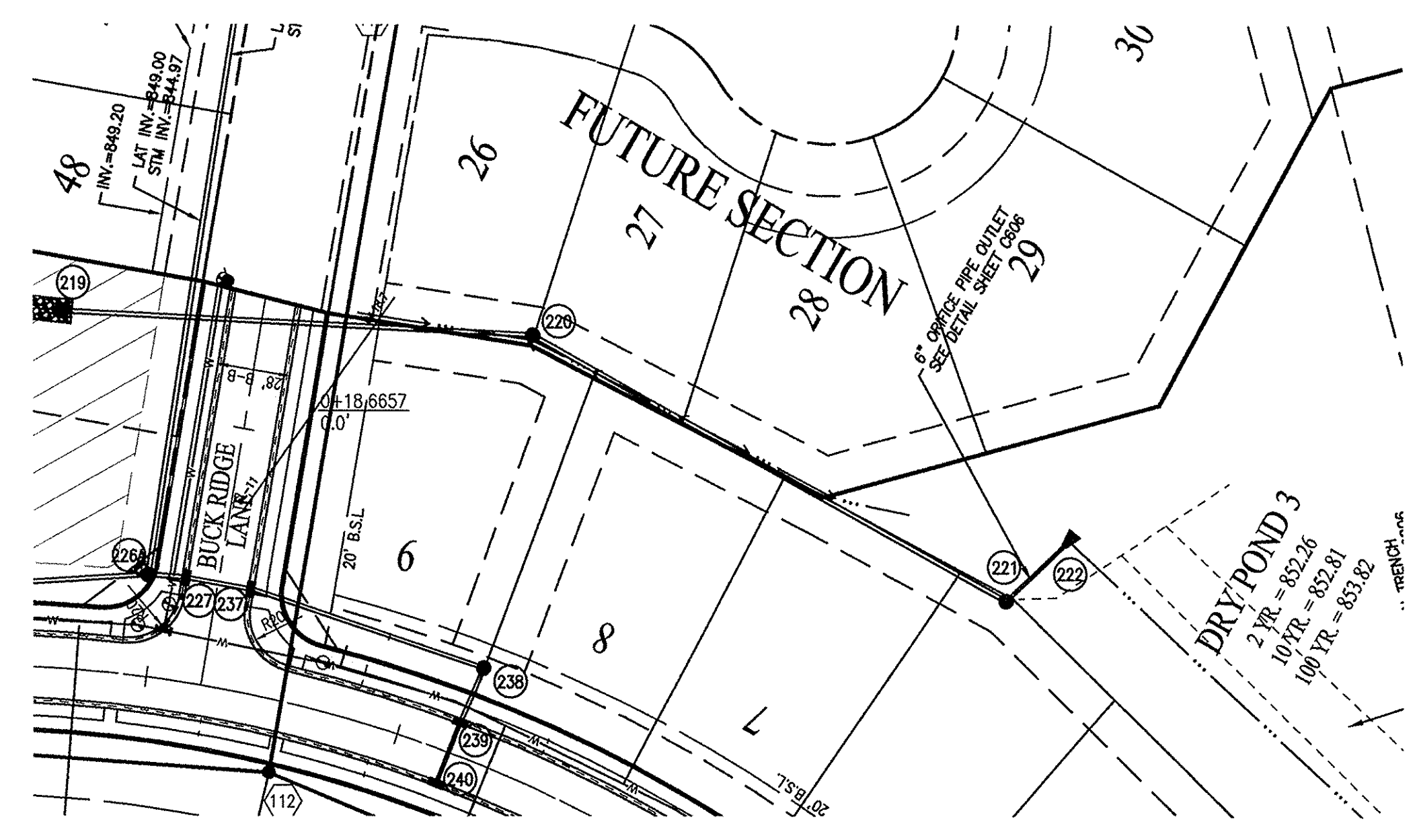
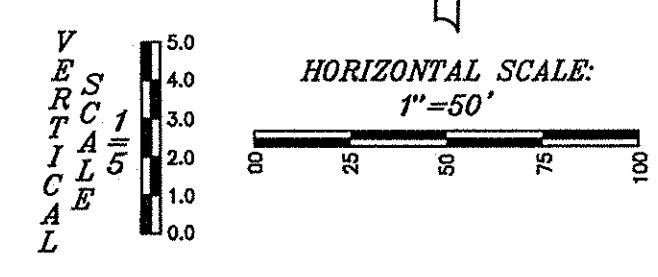
JOSHUA DAVID WERNER, LS21200020



- ▲ - ASBUILT INFORMATION
- ✓ - BUILT AS PLANNED



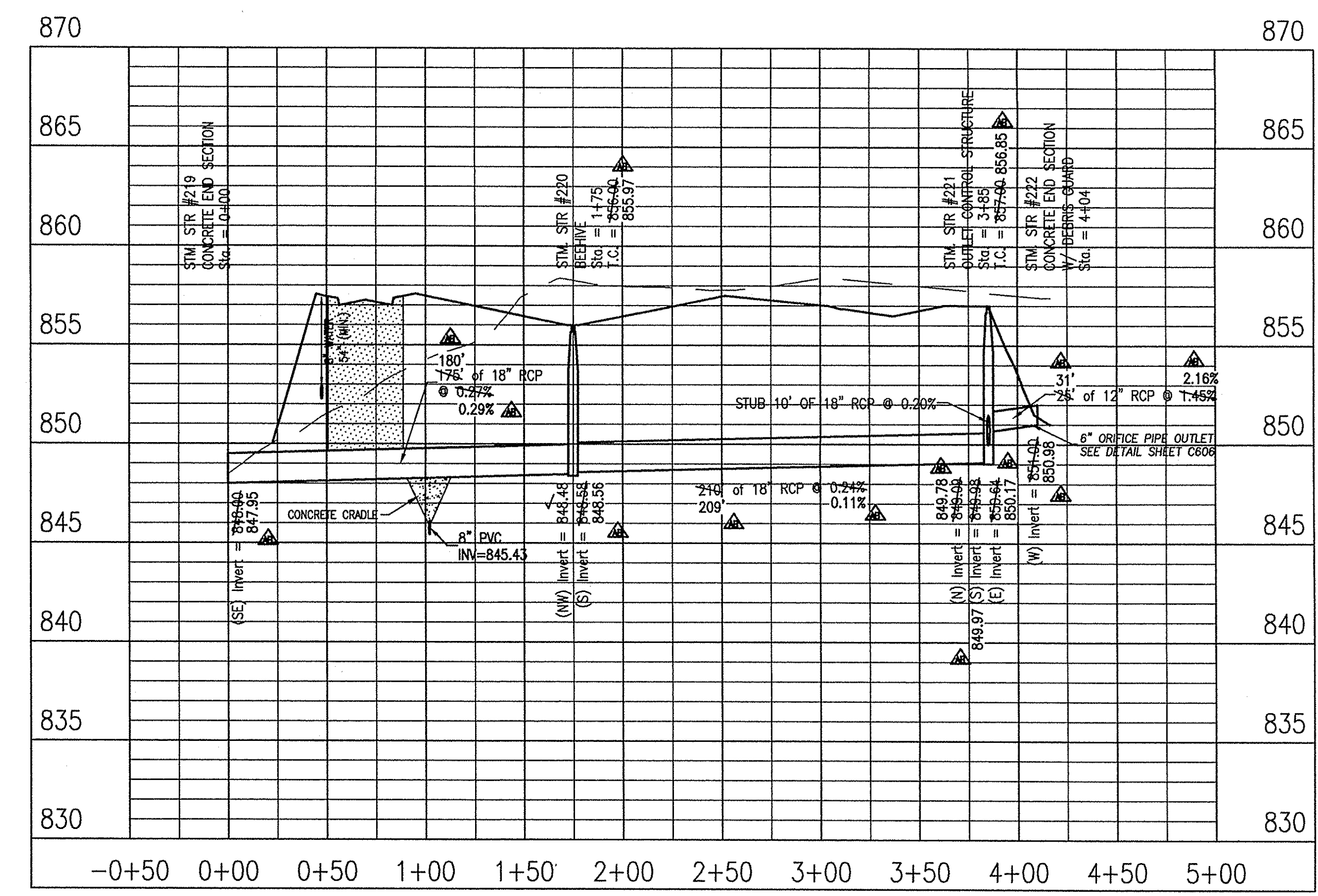
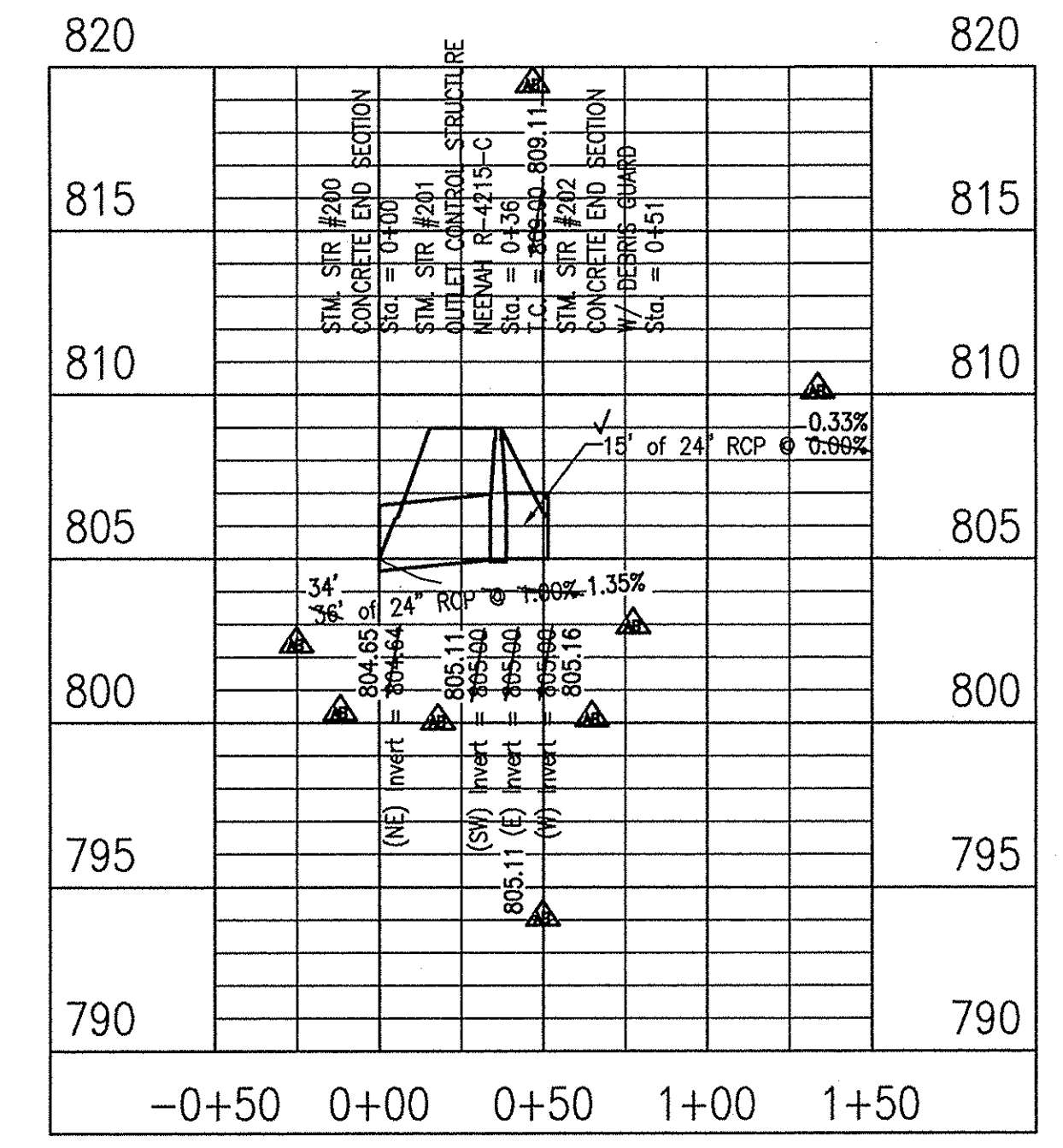
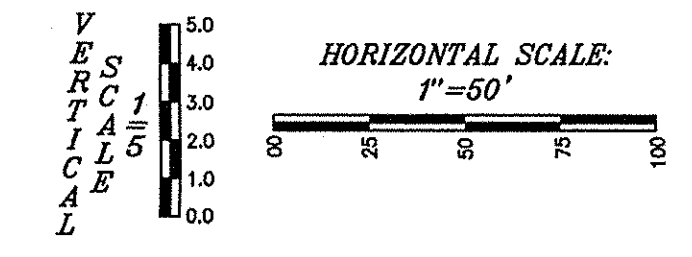
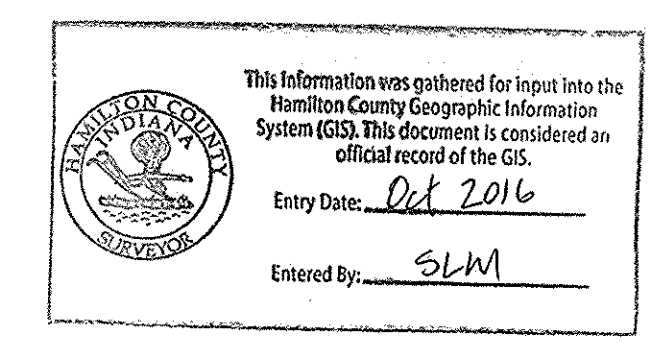
WET POND 1
2 YR. = 806.73
10 YR. = 807.39
100 YR. = 808.91
NP = 805.00
BOTTOM = 797.00



NOTE:
GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING ENCRONES TO WITHIN 5'-0" OF PAVEMENT.

LEGEND

	EXISTING GRADE
	FINISHED GRADE
	GRANULAR BACKFILL

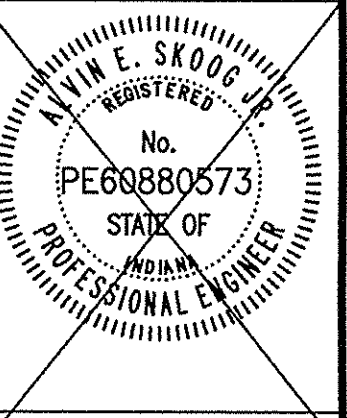


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ALLAN H. WEIHE, P.E., L.S. - FOUNDER

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PROJECT NO.:	W13.0129
DWG NAME:	Storm PIP
DESIGNED BY:	MEZ
DRAWN BY:	MEZ
CHECKED BY:	MEZ
DATE:	08.08.2014

REVISIONS AND ISSUES

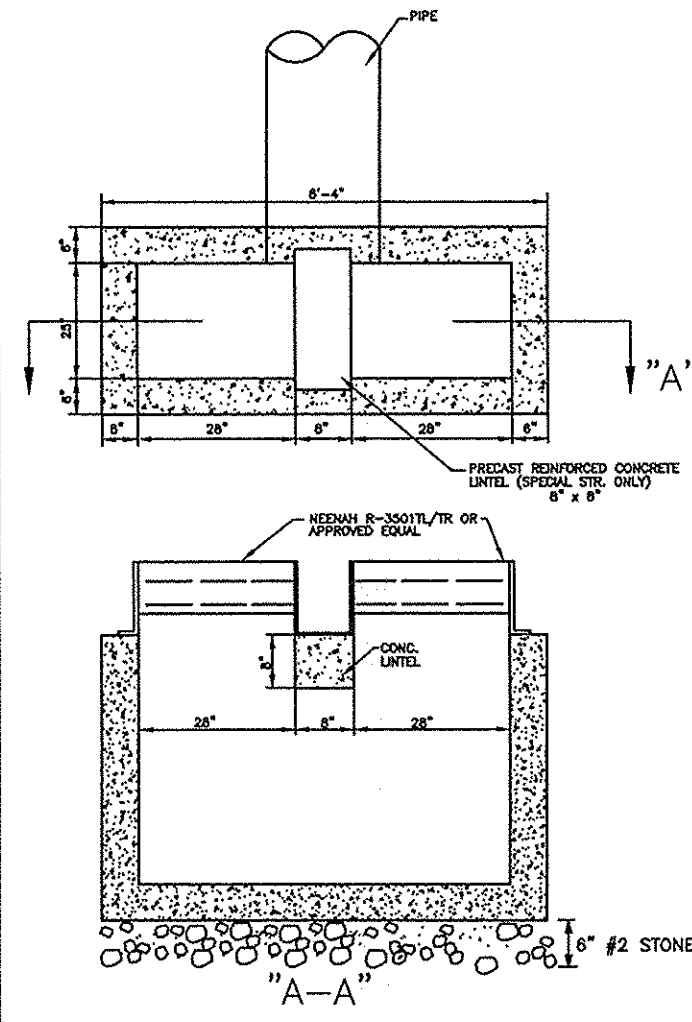


ALVIN E. SKOOG, JR., PE 60880573

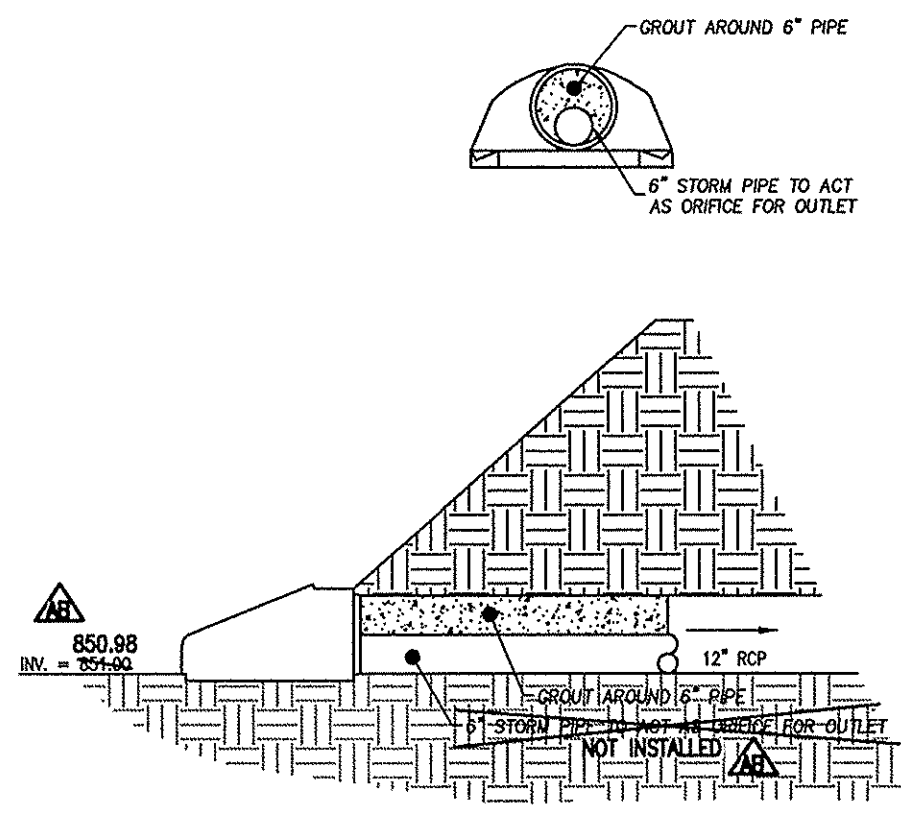
PREPARED FOR:
THE VILLAGE AT FLAT FORK
SECTION ONE
REPUBLIC DEVELOPMENT, LLC
STORM SEWER PLAN & PROFILE
Part of the SR-35 1/4 of Section 16, Township 17 North, Range 6 East, Paul Over Township, Hamilton County, Indiana.

SHEET NO.
C603
PROJECT NO.
W13.0129

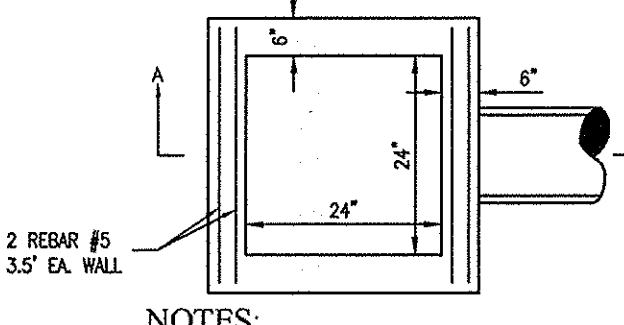
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DATE: 08/08/2014 10:00 AM
DRAWN BY: MEZ
CHECKED BY: MEZ
DATE: 08/08/2014 10:00 AM
PLOT BY: MEZ



DOUBLE CURB INLET STRUCTURE DETAIL (NO SCALE)

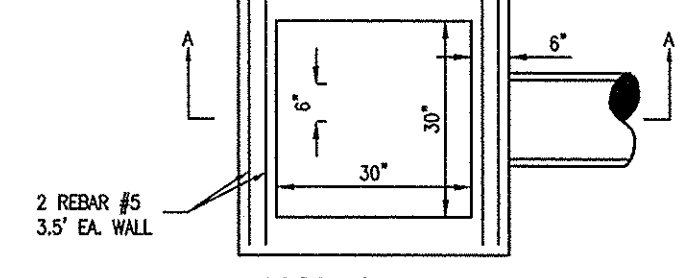


OUTLET CONTROL FOR POND "3"

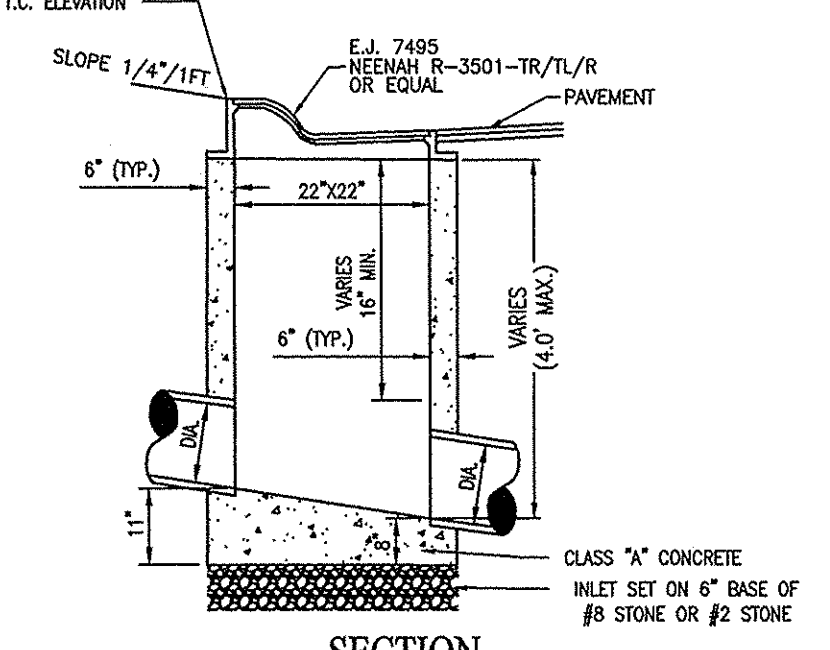


- NOTES:**
- 1 6" CONCRETE PRECAST OR POURED IN PLACE.
 - 2 REFER TO BEDDING DETAIL AS REQUIRED
 - 3 VAR. PIPE SIZE
 - 18" MAX STRAIGHT CONNECTIONS
 - 15" MAX SKEW/CORNER CONNECTIONS

- NOTES:**
- 1 6" CONCRETE PRECAST OR POURED IN PLACE.
 - 2 REFER TO BEDDING DETAIL AS REQUIRED
 - 3 VAR. PIPE SIZE
 - 15" MAX STRAIGHT CONNECTIONS
 - 12" MAX SKEW/CORNER CONNECTIONS

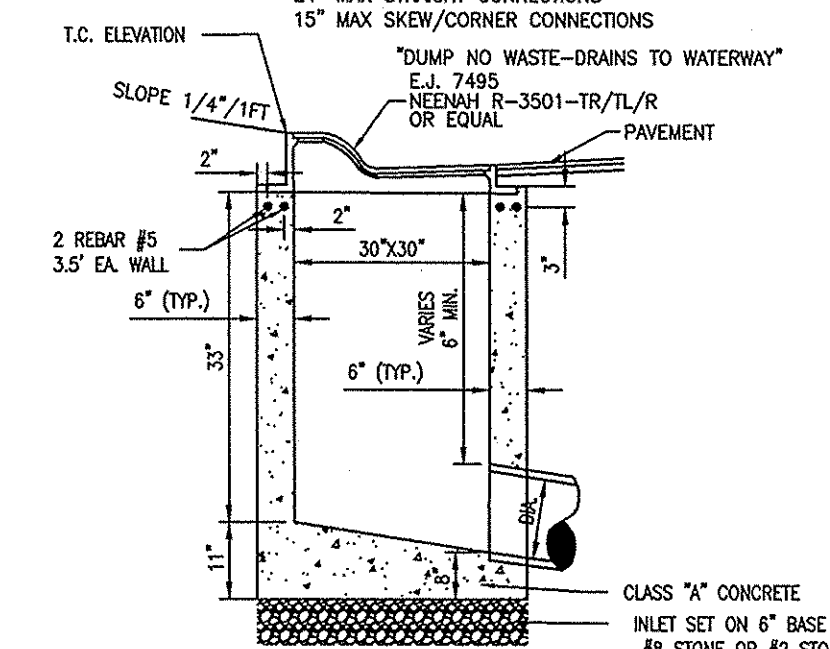


- NOTES:**
- 1 6" CONCRETE PRECAST OR POURED IN PLACE.
 - 2 REFER TO BEDDING DETAIL AS REQUIRED
 - 3 VAR. PIPE SIZE
 - 24" MAX STRAIGHT CONNECTIONS
 - 15" MAX SKEW/CORNER CONNECTIONS



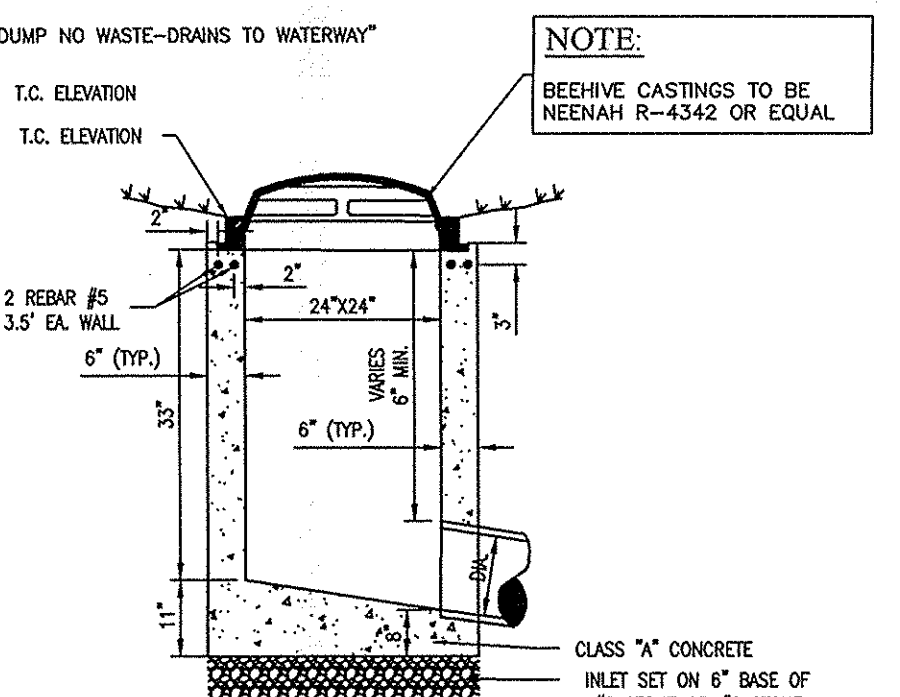
SECTION A-A

1. STRAIGHT-OUT CONNECTIONS SHOULD NOT BE MADE TO EITHER PRECAST BOX OR INLET WALL TOUCHED BY A SKEW/CORNER CONNECTION UNLESS SUFFICIENT BOX INLET WALL AREA REMAINS ON EACH SIDE OF THE CONNECTING PIPE TO ENSURE STRUCTURAL INTEGRITY OF THE PRECAST BOX.
2. A MAXIMUM OF TWO (2) SKEW/CORNER CONNECTIONS WILL BE ALLOWED FOR EACH PRECAST BOX INLET.
3. REFER TO PRECAST CONCRETE ADJUSTING RING DETAIL AS REQUIRED



SECTION A-A

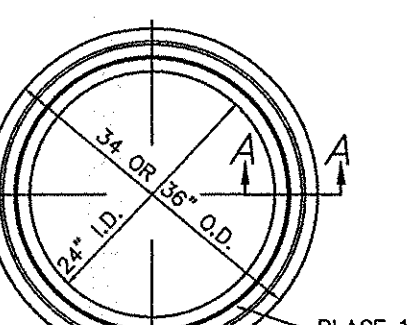
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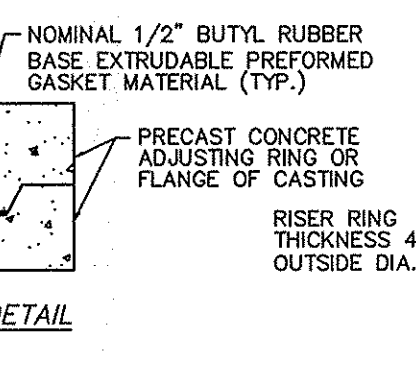
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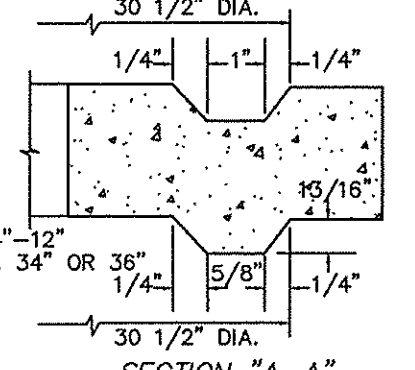
BEEHIVE INLET (NO SCALE)



PLAN VIEW

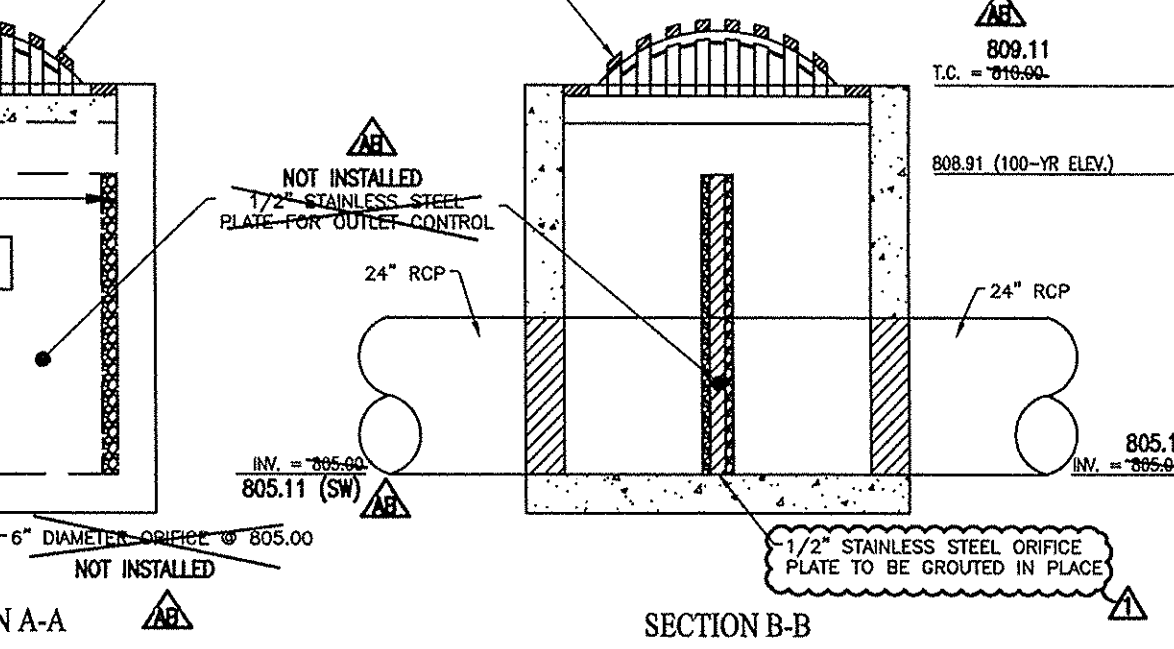
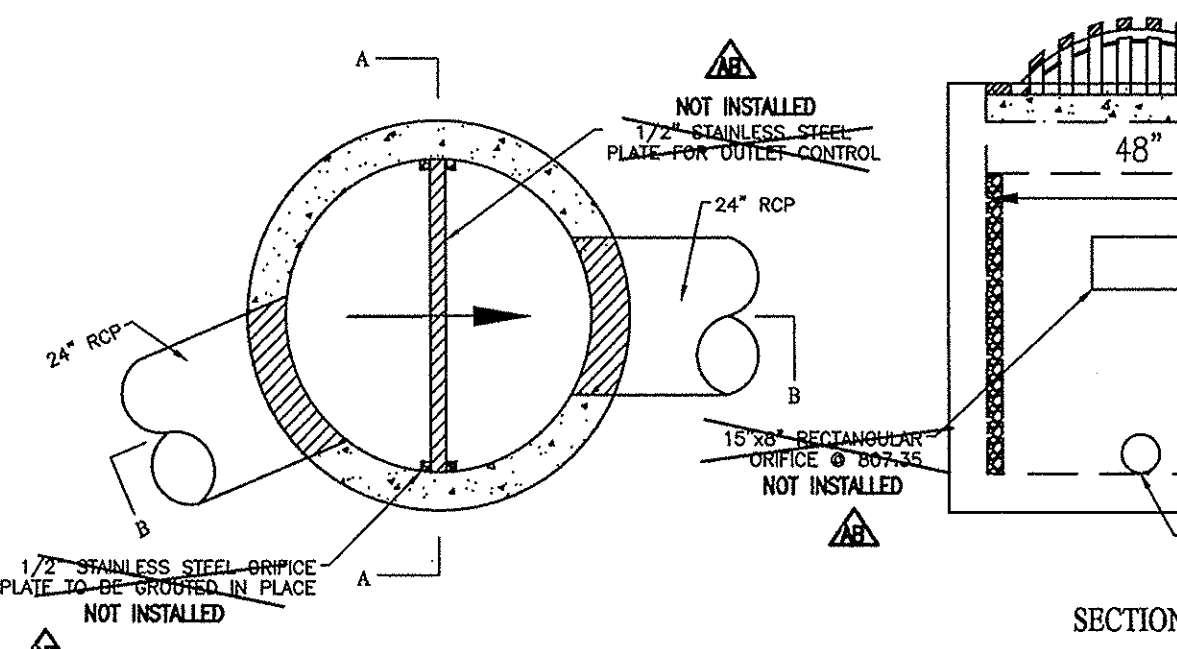
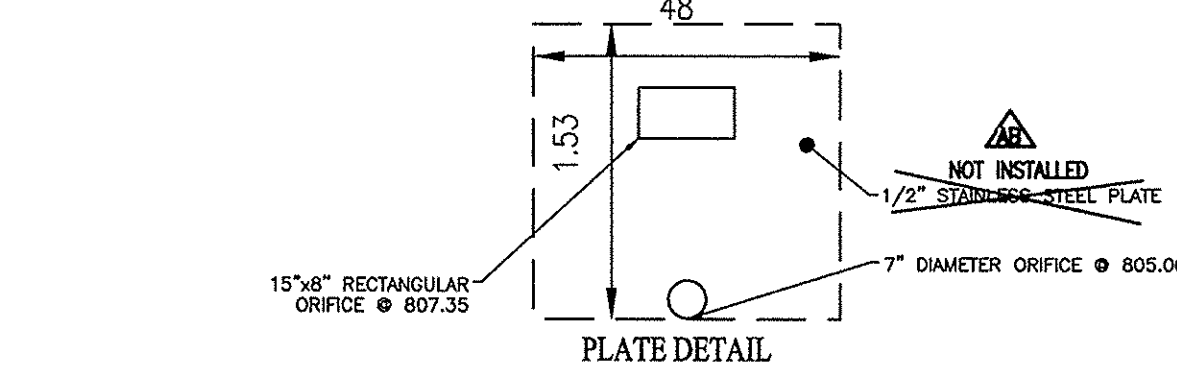


GASKET DETAIL

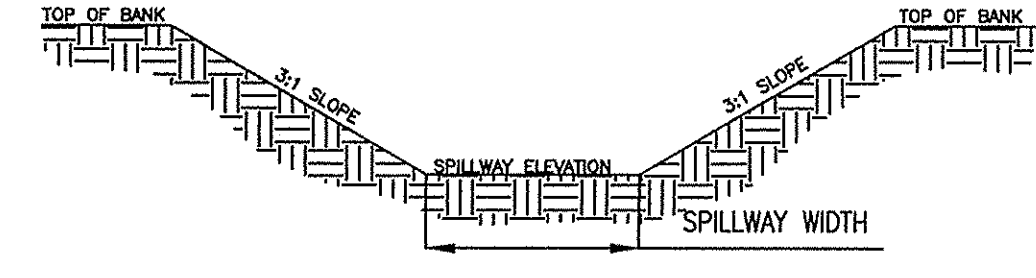


SECTION "A-A"

ADJUSTING RING DETAIL (NO SCALE)



RESTRICTOR PLATE INSTALLATION DETAIL
OUTLET SPECIAL STRUCTURE POND "1"

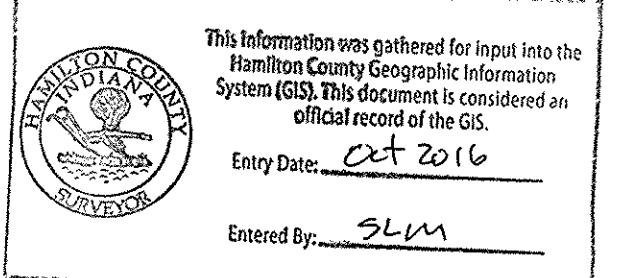


EMERGENCY SPILLWAY TYPICAL SECTION (NO SCALE)

POND DESIGNATION	TOP OF BANK ELEV.	100% ELEV.	SPILLWAY ELEV.	SPILLWAY WIDTH
"1"	812.00	808.91	809.00	20'
"2"	854.00	852.00	852.00	10'
"3"	858.00	853.82	854.00	10'

RECORD DRAWING
STORM SEWER AS-BUILTS
STORM SEWER STRUCTURES ONLY
01/25/2016

JOSHUA DAVID WERNER, LS21200020



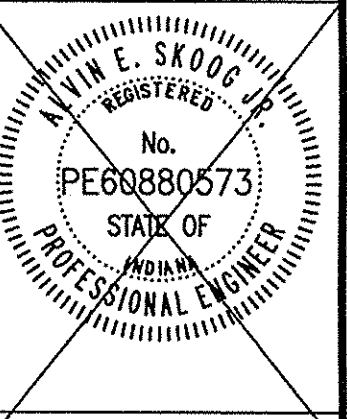
- SCOPE OF WORK**
The work under this section includes all storm sewers, storm sewer inlets, and related items, including excavating and backfilling, necessary to complete the work shown on the drawings.
- MATERIALS**
A. Storm Sewers:
1. Reinforced concrete sewer pipe shall conform to ASTM C-76 Type III, w/ a wall thickness "B", latest revision with joints conforming to ASTM C-443 latest revision.
B. Manholes:
1. Precast reinforced concrete manhole sections and steps shall conform to ASTM C-478 latest revision.
2. Castings shall be of uniform quality, free from blow holes, porosity, hard spots, shrinkage distortion or other defects. They shall be smooth and well-cleaned by sandblasting or by some other approved method. They shall be coated with asphalt paint which shall result in a smooth coating. Tough and tenacious when cold, hot, dry or brittle. They shall be gray iron meeting ASTM A-48 latest revision.
3. Joints - manhole sections shall be jointed with rubber type gaskets. The rubber type gaskets shall meet ASTM C-443 latest revision.
C. Subdrains:
1. Perforated plastic pipe subdrains shall conform to ASTM D 3034 SDR 35, ASTM D 2729, or ASTM F 405.
- APPLICATION**
A. Permits and Codes: the intent of this section of the specifications is that the contractor's bid on the work covered herein shall be based upon the drawings and specifications but that the work shall comply with all applicable codes and regulations as amended by any workers. Contractor shall furnish all bonds necessary to get permits for cuts and connections to existing sewers.
B. Local Standards: The term "Local Standards" as used herein means the standards of design and construction of the Hamilton County Stormwater Technical Standards.
C. Existing Improvements: Maintain in operating condition all active utilities, sewers and other drains encountered in the sewer installation. Repair to the satisfaction of the owner any damage to existing active improvements.
D. Workmanship: To conform to all local state and national codes and to be approved by all local and state agencies having jurisdiction.
E. Trenching: lay all pipe in open trenches, except when the local authority gives written permission for tunneling. Open the trench sufficiently ahead of pipe-laying to reveal any obstructions. The width of the trench shall be the inside pipe diameter plus 24 inches for 12 inches above the pipe. Sheet and brace trench as necessary to protect workers and adjacent structures. All trenching to comply with Occupational Safety and Health Administration Standards. Keep trenches free from water while construction is in progress. Backfill under walls, parking areas, driveways and street shall be granular material only - thoroughly compacted by approved methods. Trenches parallel to and within 5 feet of paved roadways shall also be constructed with compacted granular materials.
F. Special Supports: Whenever, in the opinion of the Engineer, the soil at or below the pipe grade is unsuitable for supporting sewers and appurtenances specified in this section, such special support, in addition to those shown or specified, shall be provided as the Engineer may direct, and the contract will be adjusted.
G. Backfilling: For depth of at least 12 inches above the top of the pipe, backfill with earth or granular material free from large stones, rock fragments, roots or sod. Tamp this backfill thoroughly using core not to disturb the pipe. For the remaining trench depth, backfill with earth or granular material containing stones or rocks not larger than 4 inches. Backfill under walls, parking areas, driveways and street shall be granular material only - thoroughly compacted by approved methods. Trenches parallel to and within 5 feet of paved roadways shall also be constructed with compacted granular materials.
H. Manhole Inverts: Construct manhole flow channels of concrete, smoothly finished and of semi-circular section conforming to the inside diameter of the connecting sewers. Make changes in size or grade gradually and changes in direction by true curves. Provide such channels for all connecting sewers at each manhole.
I. Subdrains: All subdrains onsite shall be of the size as shown and shall be placed as shown on the plans. They shall be constructed to the grades as shown on the plans.
J. Utilities: It shall be the responsibility of each contractor to verify all existing utilities and conditions pertaining to his phase of the work. It shall also, be the contractor's responsibility to contact the owners of the various utilities before work is started. The contractor shall notify in writing the owners or the engineer of any changes, errors or omissions found on these plans or in the field before work is started or resumed.

RECORD DRAWINGS FINAL CONSTRUCTION PLANS - 09/08/2014

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800 | 432 - 6408
317 | 843 - 0546/fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.:	W13.0129
FIG. NUMBER:	01
DESIGNED BY:	DAVID
DRAWN BY:	MEZ
CHECKED BY:	DAVE
DATE:	08.08.2014

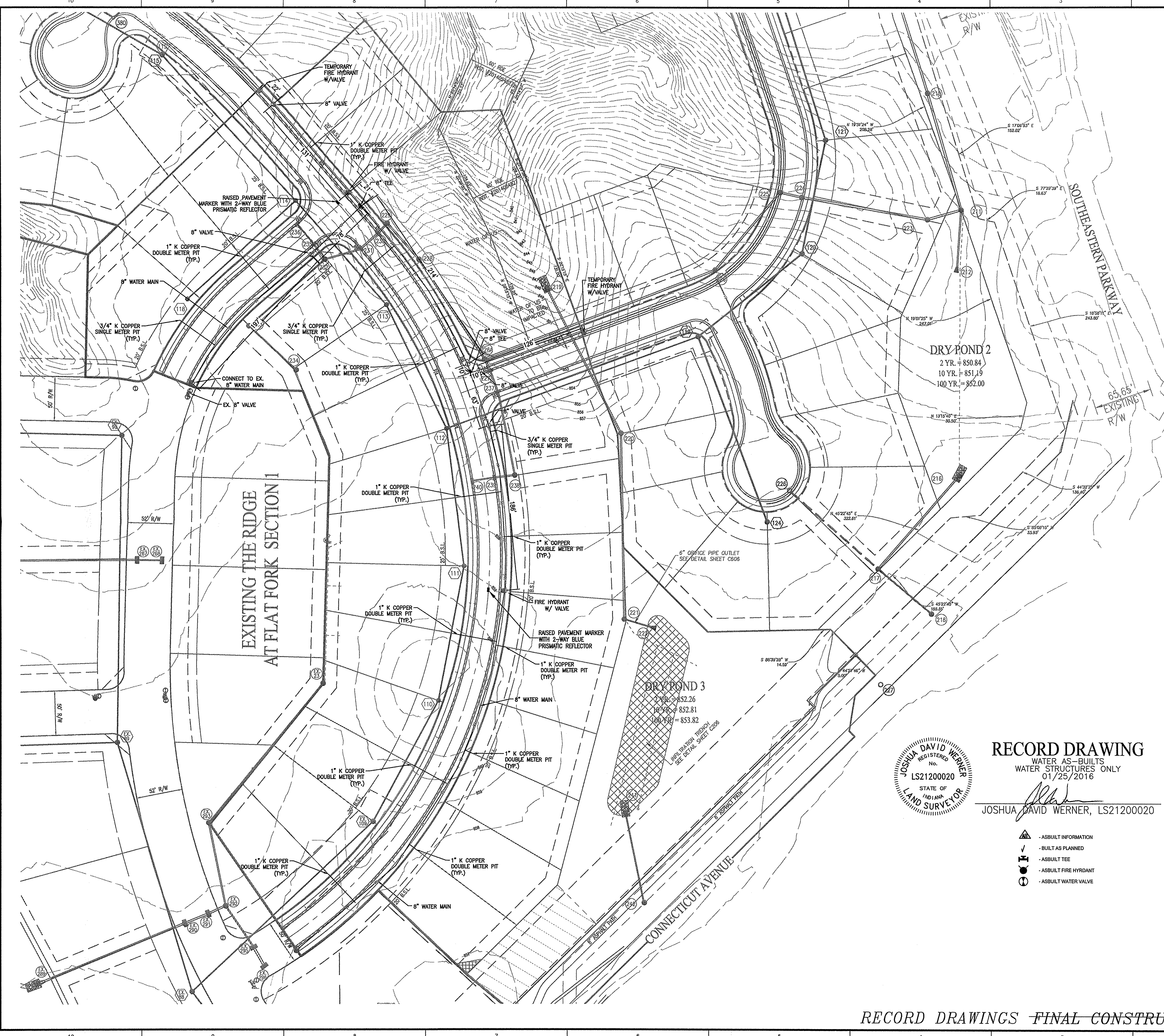


ALVIN E. SKOOG, JR., PE 60880573

PREPARED FOR:
THE VILLAGE AT FLAT FORK
SECTION ONE
REPUBLIC DEVELOPMENT, LLC
STORM SEWER DETAILS

SHEET NO.
C606
PROJECT NO.
W13.0129

LOCATION: H:\0129\W13.0129\Section A1\Engineering\Kash\Kash\0129-007 AS-BUILTS\AS-Built\AS-Built\Storm Details.dwg
DATE: 08/08/2014
PLOTTER: HP DesignJet 2400
PLOTTER DRIVER: hp-plotter



LEGEND

EW	Existing Water Main
W	Proposed Water Main
	Existing Hydrant with Hydrant Valve
	Hydrant with Hydrant Valve
	Valve
	Te
	Cross
	Reducer
	Gas Lines
UT	Telephone Lines
UE	Electric Lines
D.I.P.	Ductile Iron Pipe
	1" Type K Copper or Poly w/ double meter pit
	3/4" Type K Copper or Poly w/ single meter pit
	Water Lateral As-Built Location

- NOTES:**
1. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 10'-0" OF SEPARATION BETWEEN THE MAIN AND SEWER STRUCTURES AND A MINIMUM OF 10'-0" OF SEPARATION BETWEEN WATER, SANITARY AND STORM PIPES.
 2. WATER MAIN MUST MEET CURRENT FISHERS DETAILS AND SPECIFICATIONS.
 3. WATER TAP FEES WILL BE PAID AT THE TIME OF ACQUIRING THE BUILDING PERMIT.
 4. NO WATER VALVES ARE TO BE PLACED WITHIN THE LIMITS OF THE STREETS.

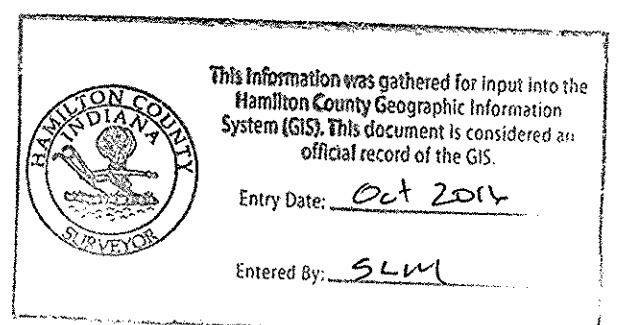
- WATER MAIN NOTES:**
1. ALL FIRE HYDRANTS SHALL BE PAINTED PER FORTVILLE SPECIFICATIONS AND STANDARDS.
 2. FIRE HYDRANTS SHALL HAVE 5 INCH STORZ'S CONNECTION (APPROVED BY FISHERS FIRE).
 3. IF WATERMAIN IS 12 INCHES OR SMALLER, THEN C900 PIPE CAN BE USED.
 4. MAIN SHALL BE BEDDED WITH SAND 6 INCHES UNDER AND 12 INCHES OVER THE PIPE WITH MARKING TAPE INSTALLED 2 FEET ABOVE THE WATER MAIN.
 5. NUMBER TEN (#10) GAUGE LOCATING WIRE SHALL BE TAPED TO THE TOP OF THE MAIN AND PULLED THROUGH ALL VALVE BOXES (TO THE SURFACE) FOR LOCATING PURPOSES.
 6. IF DUCTILE PIPE IS USED, THE MAIN MUST BE POLY WRAPPED.
 7. CONTRACTOR MUST PROVIDE REDLINE "AS-BUILT" MARK-UPS TO ENGINEER OR ALL BENDS AND TEES MUST BE LOCATED WITH 2X4 BOARD PAINTED BLUE.
 8. ALL PROPOSED ROAD CROSSINGS MUST BE FULLY BACKFILLED WITH A GRANULAR BACKFILL MATERIAL.
 9. ALL TEMPORARY FIRE HYDRANTS TO BE INSTALLED WITH VALVES.
 10. ALL VALVES MUST HAVE POSI-CAP INSTALLED AND HAVE STAINLESS STEEL STEMS.
 11. WATER MAIN MUST MEET CURRENT FORTVILLE WATER DETAILS AND SPECIFICATIONS.
 12. ALL WATER TO BE RESTRAINED PER FORTVILLE WATER STANDARDS.
 13. WATER SERVICE LATERALS AND WATER METER PITS ARE SHOWN FOR LOCATION ONLY. WATER SERVICE LATERALS AND WATER METER PITS WILL BE INSTALLED BY THE HOME BUILDERS IN THE FUTURE.
 14. CONTRACTOR TO SUPPLY SHOP DRAWINGS TO THE TOWN OF FORTVILLE PRIOR TO CONSTRUCTION

DRY POND 2
 2 YR. = 850.84
 10 YR. = 851.19
 100 YR. = 852.00

DRY POND 3
 2 YR. = 852.26
 10 YR. = 852.81
 100 YR. = 853.82

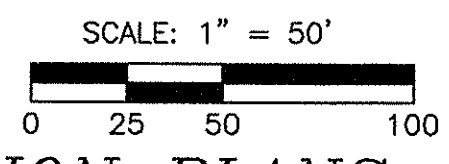


RECORD DRAWING
 WATER AS-BUILTS
 WATER STRUCTURES ONLY
 01/25/2016
 JOSHUA DAVID WERNER, LS21200020



- ASBUILT INFORMATION
- BUILT AS PLANNED
- ASBUILT TEE
- ASBUILT FIRE HYDRANT
- ASBUILT WATER VALVE

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 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.



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 ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture

PROJECT NO.: W13.0129
 DATE: 09/08/2014
 DRAWN BY: MEZ
 CHECKED BY: CJP
 REVISIONS AND ISSUES:

PREPARED FOR:
THE VILLAGE AT FLAT FORK
SECTION ONE
 REPUBLIC DEVELOPMENT, LLC
WATER MAIN PLAN
 Part of the 38.88 1/4 of Section 15, Township 17 North, Range 8 East, Paul Owen Township, Hamilton County, Indiana

SHEET NO.
C700
 PROJECT NO.
 W13.0129

LOCATION: H:\2013\W130129\Section 1\Engineering\design\submittal\2015-NOV-AS-BUILTS\W13\Drawn\W13 C700 Water Plan.dwg
 DATE PLOTTED: 09/08/2014 10:52:00
 PLOTTED BY: hwarner